



110 N. Poplar Street • PO Box 218 • West Branch, Iowa 52358
(319) 643-5888 • Fax (319) 643-2305 • www.westbranchiowa.org • city@westbranchiowa.org

CITY COUNCIL MEETING AGENDA

Monday, April 3, 2017 • 7:00 p.m.

City Council Chambers, 110 North Poplar Street

Action may be taken on any agenda item.

1. Call to order
2. Pledge of Allegiance
3. Roll call
4. Welcome
5. Approve Agenda/Consent Agenda/Move to action.
 - a. Approve minutes from the March 20, 2017 City Council Meeting.
 - b. Approve claims.
 - c. Approve Pay Estimate No. 3 in the amount of \$43,605 to All American Concrete, Inc. of West Liberty, IA for Parks & Rec Phase 1 improvements.
6. Communications/Open Forum
7. Public Hearing/Non-Consent Agenda
 - a. Kevin Rogers, West Branch Community Development Group – Quarterly Update
 - b. Sandee Buysee, Liberty Communications – Smart Cities Designation signs.
 - c. Brian Shay, Coohey Construction – Lot 21 of Pedersen Valley III Phase 1 development
 - d. Resolution 1586, approving those certain agreements in connection with the Main Street Sidewalk Improvements – Phase 4 Project./Move to action.
 - e. Resolution 1587, accepting bids and awarding the construction contract for the Main Street Sidewalk Improvements – Phase 4 Project for the City of West Branch, Iowa./Move to action.
 - f. Resolution 1592 approving the purchase of a 2017 _____ Police Department vehicle not to exceed \$28,500./Move to Action
 - g. Resolution 1594 approving the Croell Redi-Mix, Inc. Grading and Erosion Control plan./Move to Action
 - h. Resolution 1595 approving 28E agreements between the City of West Branch, Iowa and the boards of trustees of Cass, Gower, Graham, Iowa, Scott, and Springdale townships for the purposes of fire protection and aid and assistance for other emergencies or disasters relating to life and property, or hazardous materials. /Move to action
 - i. Resolution 1596 approving a contract with the Feralings for the 2017 Summer Concert Series in the amount of \$500./Move to action
 - j. Resolution 1597 approving annual insurance renewals with Wellmark Blue Cross Blue Shield of Iowa for health and dental insurance./Move to action

Mayor: Roger Laughlin • **Council Members:** Jordan Ellyson, Colton Miller, Brian Pierce, Tim Shields, Mary Beth Stevenson

Interim City Administrator: Nick Shimmin • **Fire Chief:** Kevin Stoolman

Parks & Rec Director: Melissa Russell • **Police Chief:** Mike Horihan • **Public Works Director:** Matt Goodale



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- k. Resolution 1598 approving the Wage Works flexible spending account renewal for April 1, 2017 – January 31, 2018./Move to action
- l. Resolution 1599 approving Pedersen Valley Part Three - Phase Two, Lots 41 & 42 and Pedersen Valley Part Five, Outlot G Site Plan
- m. City Engineer Dave Schechinger - College St. Bridge aesthetic./ Discussion and Possible Action
- 8. City Staff Reports
 - a. Interim City Administrator Nick Shimmin – Continuance of the Building Incentive Program
 - b. City Attorney Kevin Olson – update on Casey’s First Right of Refusal.
 - c. Melissa Russell – Pedersen Valley Check Plans
 - d. Melissa Russell – Update on Spring and Summer Parks & Recreation programs and events
- 9. Comments from Mayor and Council Members
- 10. Adjournment

(The following is a synopsis of the minutes of the West Branch City Council meeting. A video recording is available for inspection on the City of West Branch Website at www.westbranchiowa.org/government/council-videos. The minutes are not approved until the next regularly scheduled City Council meeting.)

**West Branch, Iowa
Council Chambers**

City Council Meeting

**March 20, 2017
7:00 p.m.**

Mayor Roger Laughlin called the West Branch City Council meeting to order at 7:00 p.m. Mayor Laughlin then invited the Council, Staff and members of the audience to stand and led the group in the Pledge of Allegiance. Roll call: Mayor Roger Laughlin was present. Council members: Colton Miller, Mary Beth Stevenson, Tim Shields, Jordan Ellyson and Brian Pierce were present. Laughlin welcomed the audience and the following City staff: City Administrator Matt Muckler, Deputy City Clerk Gordon Edgar, Library Director Nick Shimmin, Public Works Director Matt Goodale and Park & Recreation Director Melissa Russell.

APPROVE AGENDA/CONSENT AGENDA/MOVE TO ACTION.

Approve minutes from the March 6, 2017 City Council Meeting.

Approve claims.

Motion by Ellyson, second by Miller to approve agenda/consent agenda items a and b. AYES: Ellyson, Miller, Stevenson, Pierce, and Shields. Motion carried.

EXPENDITURES	3/20/2017	
ACTION SEWER & SEPTIC SERV	SERVICE CALL	345.00
AMAZON	BOOKS AND SUPPLIES	353.83
BAKER & TAYLOR INC.	BOOKS	602.95
BARRON MOTOR SUPPLY	REPAIR/MAINTENANCE SUPPLIES	264.15
BP AMOCO	VEHICLE FUEL	111.71
CEDAR COUNTY COOPERATIVE	FUEL	1,598.39
CEDAR COUNTY RECORDER	LEGAL RECORDINGS	98.00
CJ COOPER & ASSOCIATES	PRE EMPLOYMENT TEST	35.00
COPYWORKS	COPYWORKS	244.00
DEWEYS JACK & JILL	EASTER EGG HUNT SUPPLIES	35.06
EASTERN IOWA COMMUNITY COL	CLASS FEES	100.00
FARMERS SUPPLY SALES INC	MAINTENANCE SUPPLIES	129.67
FRED'S FEED & SUPPLY LLC	SUPPLIES	12.99
GALAXY CLEANING SERVICES	GALAXY CLEANING SERVICES	1,278.32
HARRY'S CUSTOM TROPHIES LT	EMPLOYEE SERVICE AWARDS	119.18
HAWKINS INC	CHEMICALS	1,144.75
IAWEA	IAWEA WORKSHOP REGISTRATION	75.00
IOWA MUNICIPAL FINANCE OFF	SPRING CONFERENCE	125.00
IOWA ONE CALL	LOCATION SERVICE	32.40
IOWA PARK AND RECREATION A	MEMBERSHIP DUES	155.00
IOWA STATE UNIVERSITY, TRE	CERTIFICATION FEE	50.00
JOHNSON COUNTY REFUSE INC.	RECYCLING FEB, 2017	3,743.00
KINGDOM GRAPHICS LLC	SAFETY SHIRTS	230.00
KIRKWOOD COMM. COLLEGE	EMR TUITION	7,870.50
L. L. PELLING CO. INC	ROAD REPAIR	435.24
LACKENDER FABRICATIONS INC	SKIDLOADER ROOT GRAPPLE	1,713.00
LINN COUNTY R.E.C.	SIREN @ GREENVIEW	138.00
MECHANICSVILLE PUBLIC LIBR	SUBSCRIPTION	10.00
MID-STATES ORGANIZED CRIME	MEMBERSHIP DUES	75.00
MIDWEST FRAME & AXLE	VEHICLE REPAIR	243.95
NATIONAL RECREATION AND PA	NRPA MEMBERSHIP	165.00
OLSON, KEVIN D	LEGAL SERVICE	1,500.00
OVERDRIVE INC	EBOOKS	164.98
PITNEY BOWES GLOBAL FINANC	LIBRARY POSTAGE METER RENTAL	120.00
PITNEY BOWES PURCHASE POWE	PITNEY BOWES PURCHASE POWER	500.00
QC ANALYTICAL SERVICES LLC	LAB ANALYSIS	584.00
QUILL CORP	OFFICE SUPPLIES	315.58
STATE HYGIENIC LAB	LAB ANALYSIS	25.00
STOOLMAN, JODEE	MILEAGE	155.30
TOYNES IA. FIRE TRK.SERV	REPAIR PARTS	225.87
US BANK CORPORATE CARD	TRAINING & EQUIP REPAIR	149.16
WALMART COMMUNITY/RFCSLLC	DVDS AND SUPPLIES	284.58
WEST BRANCH COMMUNITY SCHO	HS TRACK RENTAL	100.00
WEST BRANCH REPAIRS	VEHICLE REPAIR	42.15
WEST BRANCH TIMES	LEGAL NOTICES & ADVERTISING	1,045.83

TOTAL	26,746.54
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PAID BETWEEN MEETINGS

ALLIANT ENERGY	UTILITIES	9,931.95
BRICK, LESLIE	TRAVEL & SUPPLIES	27.59
COSTCO WHOLESALE	MISCELLANEOUS SUPPLIES	416.73
EDGAR, GORDON	MILEAGE	57.41
HILL, SHERRY	VIDEO RECORDING SERVICE	200.00
IOWA SECTION AWWA	WATER DISTRIBUTION TRAINING	140.00
UPS	SEWER-SHIPING	41.72
US BANK EQUIPMENT FINANCE	LIBRARY-COPIER LEASE	300.80
WEX BANK	VEHICLE FUEL	915.62

TOTAL	12,031.82
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PAYROLL 3-10-17	38,645.67
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GRAND TOTAL EXPENDITURES	77,424.03
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FUND TOTALS

001 GENERAL FUND	41,178.62
022 CIVIC CENTER	1228.66
031 LIBRARY	7,703.82
110 ROAD USE TAX	6,240.83
112 TRUST AND AGENCY	4,187.97
600 WATER FUND	9,773.29
610 SEWER FUND	7,110.84

GRAND TOTAL	77,424.03
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COMMUNICATIONS/OPEN FORUM

Tara Andresen, who will be purchasing property at 106 Scott Drive, requested permission to construct a fence on city property or would like to purchase the city property for the purpose of constructing a fence. The city response was that the fence should be constructed on her property.

Gordon Edgar, Deputy City Clerk, reported he will change the city Health Insurance plan year to end on January 31 in order to obtain new health insurance rates for the budget each year. He will also change the plan year for the Flexible Benefits program to avoid any problems for employees in complying with IRS rules unless he hears objections from the Council Members regarding this action.

Matt Muckler, City Administrator, presented a list of projects to the Council Members that are in various stages of progress. He highlighted the projects that may need council action and also listed the contact name for each project.

PUBLIC HEARING/NON-CONSENT AGENDA

Mayor Roger Laughlin – Recognition of Nick Shimmin – Ten Years of Service

Mayor Laughlin presented Library Director/IT Director with an award for ten years of service to the City and thanked him for ten years of “really good service”.

Third Reading of Ordinance 745, establishing a Historic Preservation Commission for the City of West Branch, Iowa; providing for the recognition and promotion of historic sites and defining powers and duties of the Commission./Move to action.

Motion by Ellyson, second by Stevenson to approve second reading of Ordinance 745. AYES: Ellyson, Stevenson, Miller, Pierce, and Shields. Motion carried.

ORDINANCE 745

AN ORDINANCE ESTABLISHING A HISTORIC PRESERVATION COMMISSION FOR THE CITY OF WEST BRANCH, IOWA; PROVIDING FOR THE RECOGNITION AND PROMOTION OF HISTORIC SITES AND DEFINING POWERS AND DUTIES OF THE COMMISSION.

BE IT ORDAINED BY THE CITY COUNCIL OF WEST BRANCH, IOWA:

Section 1: Purpose and Intent

The purpose of this ordinance is to:

- a. Promote the educational, cultural, economic and general welfare of the public through the recognition, enhancement, and perpetuation of sites and districts of historical and cultural significance;
- b. Safeguard the City's historic, aesthetic, and cultural heritage by preserving sites and districts of historic and cultural significance;
- c. Stabilize and improve property values;
- d. Foster pride in the legacy of beauty and achievements of the past;
- e. Protect and enhance the City's attractions to tourists and visitors and the support and stimulus to business thereby provided;
- f. Strengthen the economy of the City;
- g. Promote the use of sites and districts of historic and cultural significance as places for the education, pleasure, and welfare of the people of the City.

Section 2: Definitions

- a. Commission. The West Branch Historic Preservation Commission, as established by this ordinance.
- b. Historic District. An area which contains a significant portion of sites including archaeological sites, buildings, structures, objects and/or other improvements which, considered as a whole, possesses integrity of location, design, setting, materials, workmanship, feeling, and association, and
 1. embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possesses high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction; or
 2. is associated with events that have made significant contributions to the broad patterns of our local, state or national history; or
 3. possesses a coherent and distinctive visual character or integrity based upon similarity of scale, design, color, setting, workmanship, materials, or combinations thereof, which is deemed to add significantly to the value and attractiveness of properties within such area.
 4. is associated with the lives of persons significant in our past; or
 5. has yielded, or may be likely to yield, information important in prehistory or history.
- c. Historic Landmark. A site including archaeological sites, object, structure or building which,
 1. is associated with events that have made a significant contribution to the broad patterns of our history; or
 2. is associated with the lives of persons significant in our past; or
 3. embodies the distinctive characteristics of a type, period, or method of construction, or that represents a work of a master, or that possesses high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction; or
 4. has yielded, or may be likely to yield, information important in prehistory or history.

Section 3: West Branch Historic Preservation Commission

- a. The Commission shall initially consist of five members who shall be residents of the City.
- b. Members of the Commission shall be appointed by the Mayor with the advice and consent of the City Council. Members shall demonstrate a positive interest in historic preservation, possessing interest or expertise in architecture, architectural history, historic preservation, city planning, building rehabilitation, conservation in general or real estate.
- c. The original appointment of the members of the Commission shall be, three for two years, and two for three years, from January 1 following the year of such appointment or until their successor is appointed to serve for the term of three years.
- d. Vacancies occurring in the Commission, other than expiration of term of office, shall be only for the unexpired portion of the term of the member replaced.
- e. Members may serve for more than one term and each member shall serve until the appointment of a successor.
- f. Vacancies shall be filled by the City according to the original selection as aforesaid.
- g. Members shall serve without compensation.
- h. A simple majority of the commission shall constitute a quorum for the transaction of business.
- i. The Commission shall elect a Chairman who shall preside over all Commission meetings and elect a Secretary who shall be responsible for maintaining written records of the commission's proceedings.
- j. The Commission shall meet at least three (3) times a year.
- k. Because the West Branch Historic Preservation Commission has a strong interest in liaison with organizations that have a special affinity with local history, the Commission may recommend to the Mayor and Council that up to three (3) Ex. Officio (non-voting) honorary members be appointed to the Commission by the Mayor with the advice and consent of the City Council. These Ex. Officio (non-voting) honorary members may be representatives of the Herbert Hoover National Historic Site, the Herbert Hoover Presidential Library-Museum and the Hoover Presidential Foundation.

Section 4: Powers of the Commission

- a. The Commission may conduct studies for the identification and designation of historic districts and landmarks meeting the definitions established by this ordinance. The commission may proceed at its own initiative or upon a petition from any person, group, or association. The Commission shall maintain records of all studies and inventories for public use.
- b. The Commission may make a recommendation to the State Historic Preservation Office for the listing of a historic district or landmark in the National Register of Historic Places and may conduct a public hearing thereon.
- c. The Commission may investigate and recommend to the City Council the adoption of ordinances designating historic landmarks and historic districts if they qualify as defined herein; and
- d. Provide information for the purpose of historic preservation to the governing body.
- e. Promote and conduct an educational and interpretive program on historic properties within its jurisdiction.
- f. Other Powers. In addition to those duties and powers specified above, the Commission may, with City Council approval:
 1. Accept unconditional gifts and donations of real and personal property, including money, for the purpose of historic preservation.
 2. Acquire by purchase, bequest, or donation, fee and lesser interests in historic properties, including properties adjacent to or associated with historic properties.
 3. Preserve, restore, maintain and operate historic properties, under the ownership or control of the Commission.
 4. Lease, sell, and otherwise transfer or dispose of historic properties subject to rights of public access and other covenants and in a manner that will preserve the property.
 5. Contract, with the approval of the governing body, with the state or the federal government or other organizations.
 6. Cooperate with the federal, state and local governments in the pursuance of the objectives of historic preservation.

Section 5: Signs

It is unlawful for a person to install, alter or repair any signs within the Preservation or Historic District (see attached map) without first obtaining a permit. All signs shall conform with the "Standards for Signage Design and Display" (attached as Appendix pages 22-26) and with the design principles contained within the Preservation Brief: The Preservation of Historic Signs by Michael J. Auer (attached). The city administrator shall be responsible for ensuring that sign applications (form attached as Appendix page 29) are reviewed and processed in a timely manner

according to the above-mentioned standards and principles. All signs that were installed or displayed as of September 9, 1991 are allowed to remain. All signs installed or displayed after that date must comply with this chapter.

Section 6: Severability

Should any section or provision of this ordinance be decided by a court of this state to be unconstitutional or invalid, such decision shall not affect the validity of the ordinance as a whole or any part thereof other than the part so decided to be unconstitutional or invalid.

Section 7: Amendatory Provisions

The City may amend this ordinance to meet any unforeseen circumstances which may affect the duties and responsibilities of the Commission.

Section 8: Effective Date

This ordinance shall take effect immediately upon passage and publication as required by law.

Passed and approved this 6th day of March, 2017.

First Reading: February 21, 2017

Second Reading: March 6, 2017

Third Reading: March 20, 2017

Roger Laughlin, Mayor

ATTEST:

Matt Muckler, City Administrator/Clerk

Resolution 1579, approving a variance for street width in the Meadows Subdivision, Part 3./Move to action.

Motion by Pierce, second by Shields. Shields stated that he had requested Public Works Director Goodale to measure some of the streets. Goodale reported that most streets were 29 to 31 feet wide with Main Street at 34. City Engineer Schechinger reported that long wide streets tend to encourage speeding and that some cities are trying to reduce impervious surface, by reducing street width, to decrease storm water runoff. Brad Larson of KLM asked the Council to approve the variance. AYES: Pierce, Shields, Stevenson. NAYS: Miller, Ellyson,. Motion failed because it was the second vote on a motion that failed last month and needed four votes to pass.

Resolution 1580, approving a sub-divider's agreement for the Meadows Subdivision, Parts Three A and Three B./Move to action.

Kevin Olson, city attorney, said he had not split the agreement yet, but if the developer wants approval of 3A, which includes the outlot, that could be done now. Brian Boelk, representing the developer requested the Council address only Part 3A at this time and table Part 3B.

Motion by Stevenson, second by Shields to approve Resolution 1580, Part Three A. AYES: Stevenson, Shields, Ellyson, Pierce. NAYS: Miller. Motion carried.

Resolution 1581, approving the Meadows Subdivision, Part 3A Preliminary Plat/Move to action.

Motion by Shields, second by Pierce to approve Resolution 1581. AYES: Shields, Pierce, Stevenson, Ellyson, NAYS: Miller. Motion carried.

Resolution 1588, approving an amendment to subscription agreement with Tyler Technologies in the amount of \$16,756.00./Move to action

Motion by Pierce, second by Stevenson to approve Resolution 1588. AYES: Pierce, Stevenson, Miller, Ellyson, Shields. Motion carried.

Resolution 1589, forgiving certain sanitary sewer charges/Move to action

Motion by Ellyson, second by Pierce to approve Resolution 1589. AYES: Ellyson, Pierce, Stevenson, Miller, Shields. Motion carried.

Resolution 1590, approving a contract with the FunkDaddies for the 2017 Hoover's Hometown Days Celebration in the amount of \$1,000.00./Move to action.

Motion by Stevenson, second by Shields to approve Resolution 1590. AYES: Stevenson, Shields, Pierce, Miller, Ellyson. Motion carried.

Resolution 1591, approving three agreements for the 2017 Music on the Green Concert Series in the amount of \$859.00./Move to action

Motion by Stevenson, second by Ellyson to approve Resolution 1591. AYES: Stevenson, Ellyson, Miller, Pierce, Shields. Motion carried.

CITY STAFF REPORTS

There were no comments from the city staff.

COMMENTS FROM MAYOR AND COUNCIL MEMBERS

Mayor Laughlin thanked departing City Administrator Matt Muckler for his service to the city and presented him with a framed Post-it note, signed by City staff and elected officials. Administrator Muckler said it has been a great pleasure to work for the Mayor, Council and residents of West Branch. All of the Council members thanked Matt for his service.

ADJOURNMENT

Motion to adjourn regular meeting by Shields, second by Ellyson. Motion carried on a voice vote. City Council meeting adjourned at 7:59 p.m.

Roger Laughlin, Mayor

ATTEST:

Gordon R. Edgar, Deputy City Clerk

CITY OF WEST BRANCH
Project: Parks & Rec Phase 1 Improvements
Project # 14-0707

Pay Estimate #3
March 22, 2017

Contractor:
All American Concrete, Inc.
1489 Highway 6
West Liberty, Iowa 52776

Item Code	Description	Unit	Unit Price	Est. Quantity	Extended Amount	Completed	Value of Completed
1.	Mobilization	LS	\$30,000.00	1.00	\$30,000.00	1.00	\$30,000.00
2.	Erosion Control and Maintenance	LS	\$3,600.00	1.00	\$3,600.00	0.60	\$2,160.00
3.	Construction Staking	LS	\$4,150.00	1.00	\$4,150.00	1.00	\$4,150.00
Lion's Field							
4.	Earthwork - Cut/Fill	CY	\$14.50	1,500.00	\$21,750.00	1,500.00	\$21,750.00
5.	Seeding	ACRE	\$1,500.00	1.00	\$1,500.00	0.00	\$0.00
6.	Matting	SF	\$0.30	10,950.00	\$3,285.00	0.00	\$0.00
7.	PCC Paving, 6" Sidewalk	SY	\$52.00	157.00	\$8,164.00	135.00	\$7,020.00
8.	PCC Paving, 6" Restroom Perimeter	SY	\$64.00	47.00	\$3,008.00	0.00	\$0.00
9.	Granular Subbase, 6"	TONS	\$30.00	61.97	\$1,859.10	61.97	\$1,859.10
10.	Rest Room - Concession Facility Supply &	EA	\$40,000.00	1.00	\$40,000.00	0.95	\$38,000.00
11.	Rest Room - Concession Facility Utilities &	EA	\$45,000.00	1.00	\$45,000.00	0.95	\$42,750.00
Wapsi Park							
12.	Earthwork - Cut/Fill	CY	\$14.50	500.00	\$7,250.00	500.00	\$7,250.00
13.	Seeding	ACRE	\$1,700.00	0.50	\$850.00	0.50	\$850.00
14.	Removal of Intakes	EA	\$600.00	2.00	\$1,200.00	2.00	\$1,200.00
15.	Granular Subbase, 6"	TONS	\$31.00	246.04	\$7,627.24	240.09	\$7,442.79
16.	PCC Paving, 4" Sidewalk	SY	\$50.50	243.00	\$12,271.50	243.00	\$12,271.50
17.	PCC Paving, 6" Parking Lot	SY	\$55.00	754.00	\$41,470.00	731.00	\$40,205.00
18.	Pavement Markings, Striping	LS	\$1,100.00	1.00	\$1,100.00	1.00	\$1,100.00
19.	Storm Sewer Intakes, SW-511	EA	\$3,850.00	2.00	\$7,700.00	2.00	\$7,700.00
20.	Playground Mulch	CY	\$99.00	93.00	\$9,207.00	93.00	\$9,207.00
ALTERNATE #1 - Wapsi Park							
21.	Playground - Installation	LS	\$7,000.00	1.00	\$7,000.00	1.00	\$7,000.00

ORIGINAL CONTRACT COST

\$267,991.84

VALUE OF WORK COMPLETED
MATERIALS STORED

241,915.39
\$0.00
\$0.00

VALUE OF WORK COMPLETED & MATERIALS STORED

\$241,915.39

APPROVED CONTRACT AMENDMENTS

CO #1 Lion's - Subbase \$1,244.10
CO #2 Wapsi - Culvert Extension 0
CO #3 Wapsi - Additional Paving \$2,522.20

TOTALS \$3,766.30

\$3,766.30

ORIGINAL CONTRACT COST & AMENDMENTS

\$261,758.14

VALUE OF WORK COMPLETED & MATERIALS STORED PLUS APPROVED CONTRACT AMENDMENTS

\$245,681.69

LESS RETAINED PERCENTAGE (5%)

-\$12,284.03

NET AMOUNT DUE INCLUDING THIS ESTIMATE

\$233,397.61

Percent Completed 90.47%

LESS PAY ESTIMATES PREVIOUSLY APPROVED

PAY ESTIMATE #1 154,975.11
PAY ESTIMATE #2 34,817.50

TOTAL

189,792.61

\$189,792.61

AMOUNT DUE THIS ESTIMATE

\$43,605.00

ALL AMERICAN CONCRETE, INC

HBK ENGINEERING, LLC

CITY OF WEST BRANCH

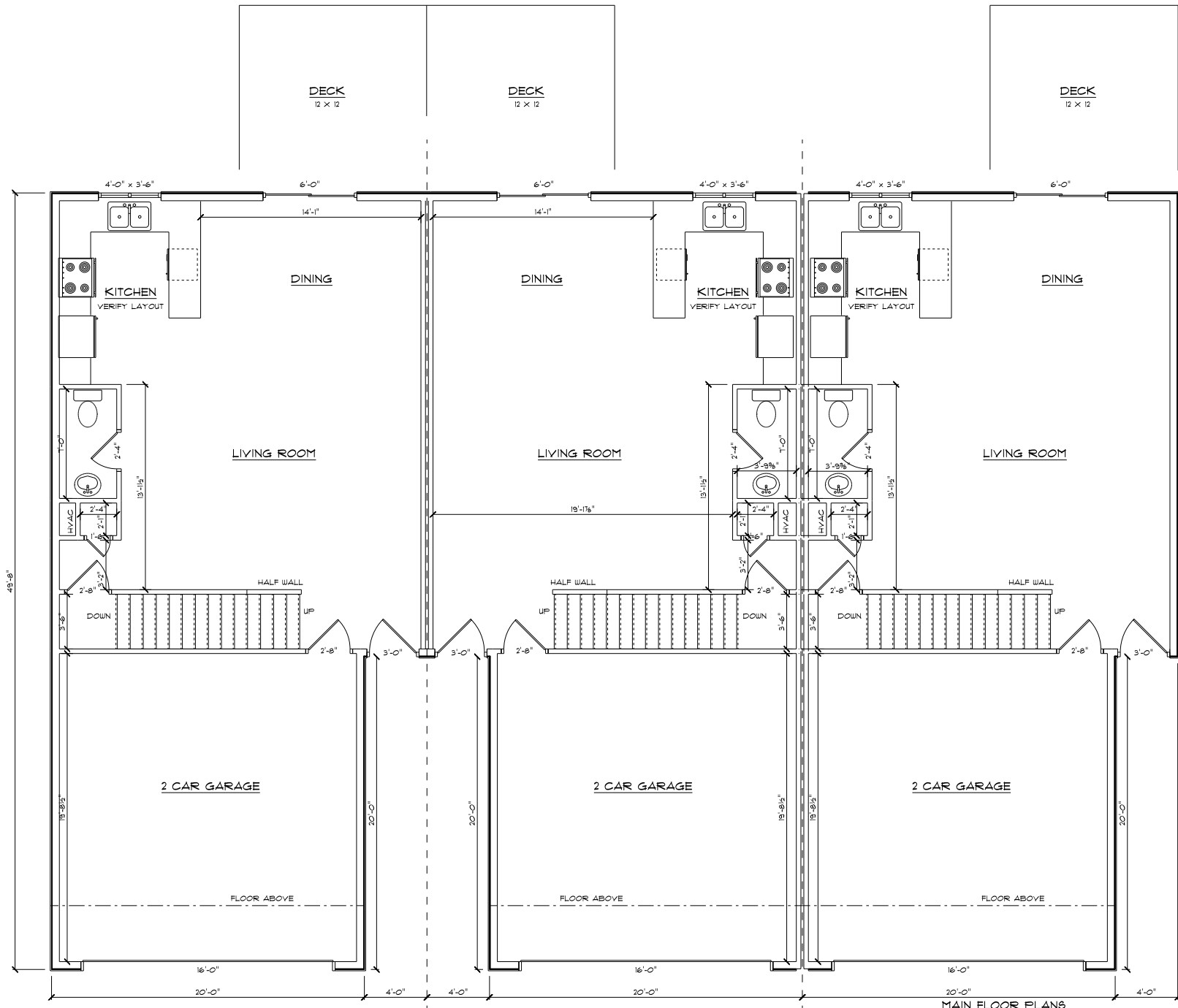
Jodi Simon
Contractor
3-22-17
Date

Brenda Sells
Project Inspector
3/22/2017
Date

Mayor

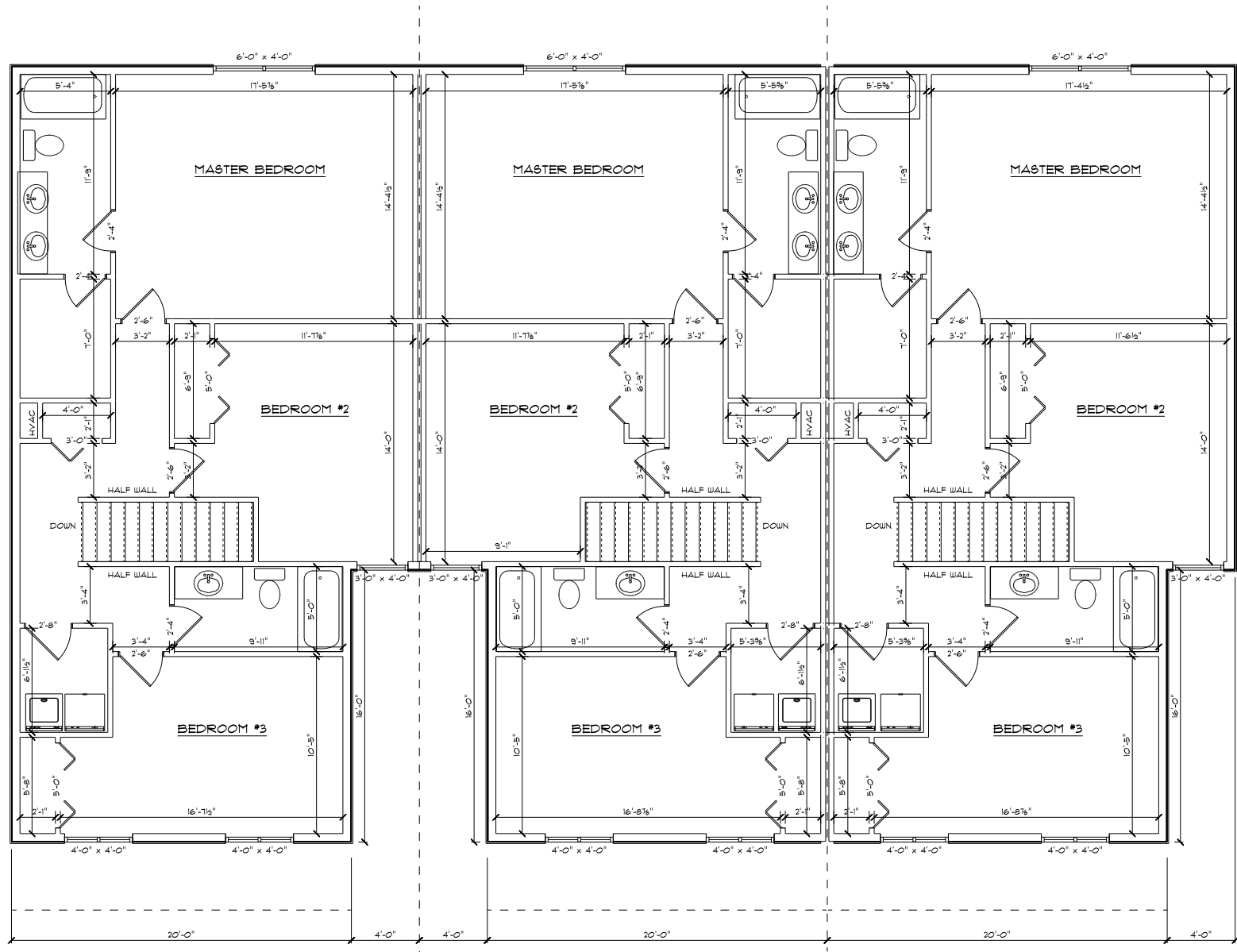
Date

\$43,605.00



MAIN FLOOR PLANS
 EXTERIOR DIMENSIONS
 ARE TO SHEATHING
 2X6 9' EXTERIOR WALLS
 VERIFY WINDOWS
 690 SQUARE FEET

PROJECT: COOHEY CONSTRUCTION			
3 FLEX			
SCALE: 1/4" = 1'-0"	DATE: 3/10/17	DRAWN: JB	
<small> THESE PLANS WERE PREPARED BY AN ARCHITECT AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. </small>			DRAWING: 612-3



UPPER FLOOR PLANS
EXTERIOR DIMENSIONS
ARE TO SHEATHING
2X6 @' EXTERIOR WALLS
VERIFY WINDOWS
980 SQUARE FEET

PROJECT: COOHEY CONSTRUCTION		3 FLEX	
SCALE: 1/4" = 1'-0"	DATE: 3/10/17	DRAWN: JB	

Cedar County, IA



- Legend**
- Road
 - <all other values>
 - Interstate
 - US Highway
 - State Numbered Highway
 - +
 - Railroad
 - Address Point
 - Parcel
 - Parcel Number/Acres
 - Leased Land
 - Corporate Limit Line
 - Land Hook
 - Easement
 - Right-of-Way
 - Contour
 - <all other values>
 - Intermediate
 - Index
 - Park
 - Section
 - County Boundary

1 in. = 27ft.



Notes

52.9 0 26.47 52.9 Feet

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

RESOLUTION 1586

RESOLUTION APPROVING THOSE CERTAIN AGREEMENTS IN CONNECTION WITH THE MAIN STREET SIDEWALK IMPROVEMENTS – PHASE 4 PROJECT

WHEREAS, the City of West Branch is concerned about the safety of pedestrians walking in the Downtown Business District; and

WHEREAS, the City of West Branch, in cooperation with affected property owners, has previously completed three Main Street Sidewalk Projects on Main Street between Parkside Drive and Poplar Street and on N. Downey Street between Main Street and Green Street;

WHEREAS, the City Council of the City of West Branch, is now interested in performing sidewalk repairs on the northern side of the 100 block of E. Main Street, called the Main Street Sidewalk Improvements – Phase 4 Project (the “Project”); and

WHEREAS, the City has bid and intends to complete the Project in July of 2017; and

WHEREAS, the City Council of the City of West Branch has heretofore deemed it necessary to assess a portion of the Project to the adjoining property owners, said owners being located at:

101 North Downey Street

109 East Main Street

111 East Main Street

115 East Main Street

(the “Owners”); and

WHEREAS, the City will utilize funds from Fund 160 – the Revolving Loan Fund; and

WHEREAS, the Owners will pay the City a portion of the assessment for each property on July 31st of 2018, 2019 and 2020; and

WHEREAS, the City Attorney has prepared assessment agreements for each of the Owners to accomplish the same, all of which require approval of the City Council; and

WHEREAS, City staff and elected officials have discussed the proposed project with representatives of the property owners whose property would be impacted as a result of the construction of the Main Street Sidewalk Improvements – Phase 4 Project; and

WHEREAS, the City Attorney and City Staff have prepared easement agreements for the review of these property owners and Main Street; and

WHEREAS, the property owners have signed said agreements; and

WHEREAS, these easement agreements now require approval of the West Branch City Council.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Cedar County, Iowa, that the aforementioned assessment agreements with the Owners be and the same are hereby approved. Further, the Mayor and City Clerk are directed to execute said agreements on behalf of the City.

Passed and approved this 3rd day of April, 2017.

Roger Laughlin, Mayor

ATTEST:

Gordon Edgar, Deputy City Clerk

RESOLUTION NO. 1587

RESOLUTION ACCEPTING BIDS AND AWARDING THE CONSTRUCTION CONTRACT
FOR THE WEST BRANCH SIDEWALK PHASE 4 IMPROVEMENTS PROJECT.

WHEREAS, the City Council of the City of West Branch, Iowa, has heretofore deemed it necessary and desirable to construct Main Street Sidewalk – Phase 4 including all labor, materials, and equipment necessary for storm sewer, PCC retaining wall-sidewalk, PCC curb & gutter, PCC sidewalk, HMA pavement, traffic control, and associated work, said project having been referred to as the “West Branch Sidewalk Phase 4 Improvements Project” for the City of West Branch, Iowa; and

WHEREAS, the bids for the aforementioned project were received, opened and tabulated as per published notice therefor on March 2, 2017; and

WHEREAS, the bid of All American Concrete, Inc., was the lowest responsive, responsible bid received; and

WHEREAS, said bid was in the amount of \$129,149; and

WHEREAS, the City Engineer has heretofore reviewed the bids and recommended that the City Council approve and accept the aforementioned bid for said project.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of West Branch, Iowa, that the bid of All American Concrete, Inc., in the amount of \$129,149 be and the same is hereby accepted and approved and the construction contract is awarded to All American Concrete, Inc.

BE IT FURTHER RESOLVED that the Mayor is hereby directed to execute the construction contract on behalf of the City.

* * * * *

Passed and approved this 3rd day of April, 2017.

Roger Laughlin, Mayor

ATTEST:

Gordon Edgar, Deputy City Clerk



**BID TABULATION
MAIN STREET SIDEWALK - PHASE 4
WEST BRANCH, IOWA**

Bid No. 1

Bid No. 2

Project Scope 1: Construct Main Street Sidewalk – Phase 4 for the following unit and lump sum prices:

All American Concrete, Inc.
1489 Highway 6
West Liberty, IA 52776

Eastern Iowa Excavating & Concrete
121 Nixon Street SE; P.O. Box 189
Casade, IA 52033

Description		Unit	Estimated Quantities	Unit Price	Extended Price	Unit Price	Extended Price
1.1	Mobilization	LS	xxxxx	xxxxx	\$ 20,000.00	xxxxx	\$ 22,000.00
1.2	Construction Staking	LS	xxxxx	xxxxx	\$ 3,300.00	xxxxx	\$ 3,500.00
1.3	Traffic Control	LS	xxxxx	xxxxx	\$ 3,200.00	xxxxx	\$ 4,750.00
1.4	Pavement Removal	SY	190	15.00	\$ 2,850.00	25.5	\$ 4,845.00
1.5	Sidewalk Removal	SY	217	15.00	\$ 3,255.00	36.75	\$ 7,974.75
1.6	Remove PCC Landing Pad	CY	1	200.00	\$ 200.00	880.00	\$ 880.00
1.7	Remove PCC Wall	LS	xxxxx	xxxxx	\$ 1,500.00	xxxxx	\$ 2,200.00
1.8	Mill 3" HMA	SY	150	13.00	\$ 1,950.00	12.00	\$ 1,800.00
1.9	Remove Intake	EA.	1	600.00	\$ 600.00	750.00	\$ 750.00
1.10	Remove & Reinstall Sign	EA.	2	210.00	\$ 420.00	225.00	\$ 450.00
1.11	PCC Curb & Gutter	LF	275	43.00	\$ 11,825.00	26.00	\$ 7,150.00
1.12	HMA 1M	Tons	100	120.00	\$ 12,000.00	155.00	\$ 15,500.00
1.13	6" PCC Sidewalk	SY	184	80.00	\$ 14,720.00	56.75	\$ 10,442.00
1.14	PCC Sidewalk Wall	CY	41	1.00	\$ 41.00	265.00	\$ 10,865.00
1.15	PCC Step # 1	CY	7	1.00	\$ 7.00	300.00	\$ 2,100.00
1.16	PCC Step # 2	CY	2	1.00	\$ 2.00	400.00	\$ 800.00
1.17	Existing Storm Connections	EA.	5	630.00	\$ 3,150.00	525.00	\$ 2,625.00
1.18	SW-511	EA.	2	3400.00	\$ 6,800.00	2400.00	\$ 4,800.00
1.19	SW-511 Minor Modification	EA.	1	900.00	\$ 900.00	1550.00	\$ 1,550.00
1.20	Manhole Storm SWR-401, 48"	EA.	1	2100.00	\$ 2,100.00	2600.00	\$ 2,600.00
1.21	Trench Drains	EA.	4	1100.00	\$ 4,400.00	2650.00	\$ 10,600.00
1.22	Storm Gravity, Trenched RCP	LF	183	63.00	\$ 11,529.00	62.00	\$ 11,346.00
1.23	HDPE 6" Pipe	LF	10	20.00	\$ 200.00	35.25	\$ 352.50
1.24	Water Service Replacement	EA.	4	3300.00	\$ 13,200.00	2450.00	\$ 9,800.00
1.25	Modified Subbase	CY	200	55.00	\$ 11,000.00	35.50	\$ 7,100.00
Total Project Scope 1 Bid (Items 1.1 - 1.25)					<u>\$ 129,149.00</u>		<u>\$ 146,780.25</u>



BID TABULATION
MAIN STREET SIDEWALK - PHASE 4
WEST BRANCH, IOWA

Bid No. 3


Project Scope 1: Construct Main Street Sidewalk – Phase
4 for the following unit and lump sum prices:

Tschiggfrie Excavation, Inc.
425 Julien Dubuque
Dubuque, IA 52003

Description	Unit	Estimated		Unit Price	Extended Price
		Quantities			
1.1 Mobilization	LS	1	xxxxx	\$	29,400.00
1.2 Construction Staking	LS	1	xxxxx	\$	4,800.00
1.3 Traffic Control	LS	1	xxxxx	\$	3,000.00
1.4 Pavement Removal	SY	190	20.30	\$	3,857.00
1.5 Sidewalk Removal	SY	217	14.00	\$	3,038.00
1.6 Remove PCC Landing Pad	CY	1	600.00	\$	600.00
1.7 Remove PCC Wall	LS	xxxxx	xxxxx	\$	1,200.00
1.8 Mill 3" HMA	SY	150	25.20	\$	3,780.00
1.9 Remove Intake	EA.	1	960.00	\$	960.00
1.10 Remove & Reinstall Sign	EA.	2	270.00	\$	540.00
1.11 PCC Curb & Gutter	LF	275	30.00	\$	8,250.00
1.12 HMA 1M	Tons	100	192.00	\$	19,200.00
1.13 6" PCC Sidewalk	SY	184	45.60	\$	8,390.40
1.14 PCC Sidewalk Wall	CY	41	228.00	\$	9,348.00
1.15 PCC Step # 1	CY	7	300.00	\$	2,100.00
1.16 PCC Step # 2	CY	2	300.00	\$	600.00
1.17 Existing Storm Connections	EA.	5	900.00	\$	4,500.00
1.18 SW-511	EA.	2	4920.00	\$	9,840.00
1.19 SW-511 Minor Modification	EA.	1	9360.00	\$	9,360.00
1.20 Manhole Storm SWR-401, 48"	EA.	1	4080.00	\$	4,080.00
1.21 Trench Drains	EA.	4	900.00	\$	3,600.00
1.22 Storm Gravity, Trenched RCP	LF	183	79.20	\$	14,493.60
1.23 HDPE 6" Pipe	LF	10	54.00	\$	540.00
1.24 Water Service Replacement	EA.	4	1680.00	\$	6,720.00
1.25 Modified Subbase	CY	200	48.00	\$	9,600.00

Total Project Scope 1 Bid
(Items 1.1 - 1.25) **\$ 161,797.00**

I hereby certify that this is a true tabulation of
bids received on
March 2, 2017 by the City
of West Branch, Iowa for
the Main Street Sidewalk
- Phase 4 project.


Dave Schechinger, P.E.
Iowa License No. 16538
My license renewal date is
December 31, 2018





BID TABULATION
MAIN STREET SIDEWALK - PHASE 4
WEST BRANCH, IOWA

Bid No. 1

Bid No. 2

Project Scope 2: Construct Main Street Sidewalk – Phase 4
for the following unit and lump sum prices:

All American Concrete, Inc.
1489 Highway 6
West Liberty, IA 52776

Eastern Iowa Excavating & Concrete
121 Nixon Street SE; P.O. Box 189
Casade, IA 52033

Description	Unit	Estimated					
		Quantities	Unit Price	Extended Price	Unit Price	Extended Price	
2.1 Mobilization	LS	xxxxx	xxxxx	\$ 22,000.00	xxxxx	\$ 22,000.00	
2.2 Construction Staking	LS	xxxxx	xxxxx	\$ 3,300.00	xxxxx	\$ 3,500.00	
2.3 Traffic Control	LS	xxxxx	xxxxx	\$ 5,500.00	xxxxx	\$ 4,750.00	
2.4 Pavement Removal	SY	190	15.00	\$ 2,850.00	25.50	\$ 4,845.00	
2.5 Sidewalk Removal	SY	217	15.00	\$ 3,255.00	36.75	\$ 7,974.75	
2.6 Remove PCC Landing Pad	CY	1	200.00	\$ 200.00	880.00	\$ 880.00	
2.7 Remove PCC Wall	LS	xxxxx	1500.00	\$ 1,500.00	22000.00	\$ 2,200.00	
2.8 Mill 3" HMA	SY	1475	6.00	\$ 8,850.00	12.00	\$ 17,700.00	
2.9 Remove Intake	EA.	1	600.00	\$ 600.00	750.00	\$ 750.00	
2.10 Remove & Reinstall Sign	EA.	2	210.00	\$ 420.00	225.00	\$ 450.00	
2.11 PCC Curb & Gutter	LF	275	43.00	\$ 11,825.00	26.00	\$ 7,150.00	
2.12 HMA 1M	Tons	350	120.00	\$ 42,000.00	155.00	\$ 54,250.00	
2.13 6" PCC Sidewalk	SY	184	80.00	\$ 14,720.00	56.75	\$ 10,442.00	
2.14 PCC Sidewalk Wall	CY	41	1.00	\$ 41.00	265.00	\$ 10,865.00	
2.15 PCC Step # 1	CY	7	1.00	\$ 7.00	300.00	\$ 2,100.00	
2.16 PCC Step # 2	CY	2	1.00	\$ 2.00	400.00	\$ 800.00	
2.17 Existing Storm Connections	EA.	5	630.00	\$ 3,150.00	525.00	\$ 2,625.00	
2.18 SW-511	EA.	2	3400.00	\$ 6,800.00	2400.00	\$ 4,800.00	
2.19 SW-511 Minor Modification	EA.	1	900.00	\$ 900.00	1550.00	\$ 1,550.00	
2.20 Manhole Storm SWR-401, 48"	EA.	1	2100.00	\$ 2,100.00	2600.00	\$ 2,600.00	
2.21 Trench Drains	EA.	4	1100.00	\$ 4,400.00	2650.00	\$ 10,600.00	
2.22 Storm Gravity, Trenched RCP	LF	183	63.00	\$ 11,529.00	62.00	\$ 11,346.00	
2.23 HDPE 6" Pipe	LF	10	20.00	\$ 200.00	35.25	\$ 352.50	
2.24 Water Service Replacement	EA.	4	3300.00	\$ 13,200.00	2450.00	\$ 9,800.00	
2.25 Modified Subbase	CY	200	55.00	\$ 11,000.00	35.50	\$ 7,100.00	
Total Project Scope 1 Bid							
(Items 2.1 - 2.25)				\$ 170,349.00		\$ 201,430.25	



BID TABULATION
MAIN STREET SIDEWALK - PHASE 4
WEST BRANCH, IOWA

Bid No. 3

Project Scope 2: Construct Main Street Sidewalk – Phase 4
for the following unit and lump sum prices:

Tschiggfrie Excavation, Inc.
425 Julien Dubuque
Dubuque, IA 52003

Description	Unit	Estimated Quantities	Unit Price	Extended Price
2.1 Mobilization	LS	1	xxxxx	\$ 29,400.00
2.2 Construction Staking	LS	1	xxxxx	\$ 4,800.00
2.3 Traffic Control	LS	1	xxxxx	\$ 3,000.00
2.4 Pavement Removal	SY	190	20.30	\$ 3,857.00
2.5 Sidewalk Removal	SY	217	14.00	\$ 3,038.00
2.6 Remove PCC Landing Pad	CY	1	600.00	\$ 600.00
2.7 Remove PCC Wall	LS	xxxx	1200.00	\$ 1,200.00
2.8 Mill 3" HMA	SY	1475	21.40	\$ 31,565.00
2.9 Remove Intake	EA.	1	960.00	\$ 960.00
2.10 Remove & Reinstall Sign	EA.	2	270.00	\$ 540.00
2.11 PCC Curb & Gutter	LF	275	30.00	\$ 8,250.00
2.12 HMA 1M	Tons	350	132.00	\$ 46,200.00
2.13 6" PCC Sidewalk	SY	184	45.60	\$ 8,390.40
2.14 PCC Sidewalk Wall	CY	41	228.00	\$ 9,348.00
2.15 PCC Step # 1	CY	7	300.00	\$ 2,100.00
2.16 PCC Step # 2	CY	2	300.00	\$ 600.00
2.17 Existing Storm Connections	EA.	5	900.00	\$ 4,500.00
2.18 SW-511	EA.	2	4920.00	\$ 9,840.00
2.19 SW-511 Minor Modification	EA.	1	9360.00	\$ 9,360.00
2.20 Manhole Storm SWR-401, 48"	EA.	1	4080.00	\$ 4,080.00
2.21 Trench Drains	EA.	4	900.00	\$ 3,600.00
2.22 Storm Gravity, Trenched RCP	LF	183	79.20	\$ 14,493.60
2.23 HDPE 6" Pipe	LF	10	54.00	\$ 540.00
2.24 Water Service Replacement	EA.	4	1680.00	\$ 6,720.00
2.25 Modified Subbase	CY	200	48.00	\$ 9,600.00

Total Project Scope 2 Bid
(Items 2.1 - 2.25)

\$ 216,582.00

I hereby certify that this is a true tabulation of
bids received on
March 2, 2017 by the City
of West Branch, Iowa for
the Main Street Sidewalk
- Phase 4 project.


Dave Schechinger, P.E.

Iowa License No. 16538

My license renewal date is
December 31, 2018



RESOLUTION NO. 1592

A RESOLUTION APPROVING THE PURCHASE OF A 2017 _____ POLICE
DEPARTMENT VEHICLE IN AN AMOUNT NOT TO EXCEED \$28,500.

WHEREAS, the West Branch Police Department plans ahead for large equipment purchases; and

WHEREAS, a new patrol vehicle has been planned to be purchased in Fiscal Year 2018; and

WHEREAS, the West Branch Police Department has set aside funding for this vehicle and the purchase of the vehicle will not require any borrowing on behalf of the City of West Branch or the West Branch Police Department; and

WHEREAS, the West Branch Police Department will seek bids for the vehicle; and

WHEREAS, the purchase of a 2017 vehicle is required to meet equipment and budget requirements; and

WHEREAS, the West Branch Police Department must order a 2017 vehicle prior to April 20, 2017; and

WHEREAS, the West Branch Police Department will not take possession of said vehicle prior to July 1, 2017.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Cedar County, Iowa, that the City Council approves the purchase of a 2017 _____ Police Department Vehicle in an amount not to exceed \$28,500.

Passed and approved this 3rd day of April, 2017

Roger Laughlin, Mayor

ATTEST:

Gordon Edgar, Deputy City Clerk



WEST BRANCH POLICE DEPARTMENT

105 S. SECOND STREET, P.O. BOX 218

WEST BRANCH, IOWA 52358

ROUTINE PHONE: (319) 643-2222 FAX: (319) 643-2464

"PROTECT, SERVE, VIGILANCE"



TO: Brown's West Branch; West Branch Ford

FROM: City of West Branch, Police Department

DATE: 3/27/2017

SUBJECT: 2008 DODGE RAM 1500 SXT MEGACAB REPLACEMENT

For Bid:

1. 2017 Model Year Police (Pursuit Rated) sedan.
2. Powertrain
 - a. V8 engine
 - b. All wheel drive
3. Tires
 - a. Replace factory tires with Goodyear Eagle Ultra Grip GW-3
4. LED Spotlight Driver only
5. Heated Outside Mirrors
6. Rear Parking sensors with Back-Up Camera
7. Keyless entry / Alarm
8. Interior
 - a. Front Cloth/Rear Vinyl seats
 - b. Power adjustable pedals
 - c. Power front seats with power lumbar control
 - d. Integrated hands free phone system
 - e. Deactivated rear doors & windows
9. Take possession after 7/1/17

For Trade:

1. 2008 Dodge Ram 1500 SXT MegaCab
 - a. 5.7L V8
 - b. 4WD
 - c. Vehicle will be made available for inspection to determine value.
 - d. Trade Value should be listed separately from New Vehicle Price in bid.

Bids must be delivered to the City Office located at 110 N. Poplar St. or by mail to City of West Branch, ATTN: Police Vehicle, P.O. Box 218, West Branch, IA 52358. Bids must be in a sealed envelope and be received by 12:00P.M. (Noon) on Monday, April 3, 2017. Bids not meeting the exact specifications above will not be considered.

RESOLUTION NO. 1594

A RESOLUTION ADOPTING CROELL READY MIX, INC. GRADING AND EROSION CONTROL PLAN

WHEREAS, Croell Ready Mix, Inc. has heretofore submitted a proposed Grading and Erosion Control Plan to prepare land for future building construction at 145 Fawcett Drive in the City of West Branch, Iowa (the "Project"); and

WHEREAS, said Grading and Erosion Control Plan has heretofore been reviewed by City Staff, including the City Engineer; and

WHEREAS, the Grading and Erosion Control Plan has been found to conform to West Branch Code of Ordinances; and

WHEREAS, the City of West Branch Planning and Zoning Commission has reviewed the Grading and Erosion Control Plan and recommended its approval to the West Branch City Council; and

WHEREAS, it is now necessary for the City Council to approve said Grading and Erosion Control Plan.

NOW, THEREFORE, BE IT RESOLVED, be it resolved by the City Council of the City of West Branch, Cedar County, Iowa, that the aforementioned Grading Plan for the Project be and the same are hereby accepted and approved.

* * * * *

Passed and approved this 3rd day of April, 2017.

Roger Laughlin, Mayor

ATTEST:

Gordon Edgar, Deputy City Clerk



A.POLLUTION PREVENTION AND EROSION PROTECTION

1.CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PREVENT SOIL EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.

2.DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY. INCLUDING REASONABLE ATTORNEY FEES INCURRED TO SUE, FURTHER IF THE CONTRACTOR IS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY, THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.

B.STORM WATER DISCHARGE PERMIT

1. THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 INCLUDING CREATING OR MAINTAINING THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND POSSIBLY OBTAINING THE GENERAL PERMIT COVERAGE FROM THE IDNR.

2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF PUBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP, SITE INSPECTION LOG, AND OTHER ITEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. FAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.

3.A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES. ALL PLANS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.

C.POLLUTION PREVENTION PLAN:

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLAN DRAWINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.

2. THE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES PERMIT COVERAGE. ALL BMP'S AND EROSION CONTROL MEASURES REQUIRED AS A RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT. ADDITIONAL BMP'S FROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.

3.THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.

4.THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:

6. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.

6. INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.

c. PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.

d. MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SIL CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.

e.INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EVERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITTED WEEKLY TO THE OWNER OR ENGINEER DURING CONSTRUCTION. REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.

f. PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.

g. INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUNOFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.

h. RESPREAD A MINIMUM OF 4 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.

1. STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, OR SOD AS SOON AS PRACTICAL UPON COMPLETION OR DELAY OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES NO LATER THAN 14 CALENDAR DAYS AFTER CONSTRUCTION ACTIVITY HAS FINISHED OR IS PLANNED TO BE DELAYED MORE THAN 21 CALENDAR DAYS.

COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.

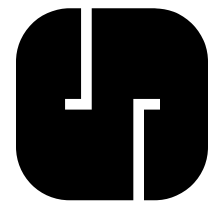
k.REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

MARK	REVISION	TAC	DATE	BY
Engineer: LMC	Checked By:	Scale: 1" = 100'		
Technician: DJD	Date: 03-16-17	Field Bk: Pg:		
Project No: 1160878			Sheet 2	

WEST BRANCH, IOWA

5005 BOWLING STREET S.W.
CEDAR RAPIDS, IA 52404
319-362-9394 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC.



Project No: 1160878

Sheet 2

RESOLUTION NO. 1595

RESOLUTION APPROVING 28E AGREEMENTS BETWEEN THE CITY OF WEST BRANCH, IOWA AND THE BOARDS OF TRUSTEES OF CASS, GOWER, GRAHAM, IOWA, SCOTT AND SPRINGDALE TOWNSHIPS FOR THE PURPOSES OF FIRE PROTECTION AND AID AND ASSISTANCE FOR OTHER EMERGENCIES OR DISASTERS RELATING TO LIFE AND PROPERTY, OR HAZARDOUS MATERIALS.

WHEREAS, it is in the best interest of the City of West Branch and Cass, Gower, Graham, Iowa, Scott and Springdale Townships to have a joint agreement for the purpose of providing fire protection and aid and assistance for other emergencies or disasters relating to life and property, or hazardous materials; and

WHEREAS, the City Council finds it in the best interest of the residents of West Branch to have updated agreements in place to provide these services to the various townships; and

WHEREAS, it is now necessary to approve said agreements.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Iowa, that the aforementioned 28E Agreements are hereby approved. Further, the Mayor is directed to execute the agreement on behalf of the City.

Passed and approved this 3rd day of April, 2017.

Roger Laughlin, Mayor

ATTEST:

Gordon Edgar, Deputy City Clerk

AGREEMENT

This agreement entered into accordance with and under the provisions of the provisions of chapter 28E of the 1975 Code of Iowa on this 25th day of January, 2017, between the City of West Branch, hereinafter known as the "providing agency" and the Board of Trustees of Gower Township, Cedar County, Iowa, hereinafter referred to as "Township."

WITNESS: WHEREAS, one of the purposes of the providing agency is to provide certain persons and areas with fire protection and aid and assistance for other emergencies or disasters relating to life and property, and or hazardous materials.

WHEREAS, the providing agency is willing and able to provide fire protection to the township and the township deems it in the best financial and economic interests of Gower Township that the said protection be provided by the providing agency to the township for the safety and welfare of its citizens and its inhabitants.

IT IS, THEREFORE, AGREED AS FOLLOWS:

1. **PURPOSE.** The purpose of this agreement is to provide fire protection to the Gower Township or that portion thereof as set forth on the addendum attached to this agreement, said protection to be provided by the "providing agency."
2. **DURATION OF AGREEMENT.** This agreement shall be effective from the signing date of January 25th 2017, and shall automatically renew for one year for each year thereafter until notice be given by either party of its termination on or before April 1st of the year of renewal date, in writing, or unless terminated by mutual agreement of the parties. This agreement becomes effective on the date of signing by the parties.
3. **DUTIES OF THE PROVIDING AGENCY.** The providing agency shall in accordance with the terms and provisions of this agreement, provide fire protection to the property shown on the addendum attached hereto as shall be sufficient for the township to comply with the provisions of Section 359.42 of the 1975 Code of Iowa, as amended. Said duties shall include but not limited to, the providing of equipment and manpower for fire protection and responding to calls and needs in the providing of said protection in the areas covered by this agreement.
4. **CONTROL BY PROVIDING AGENCY.** All equipment and manpower utilized by the providing agency for fire protection agreed to herein shall at all times be under the direction and control of the Chief of the providing agency or the Officer in Charge.
5. **FINANCIAL PROVISIONS.** The township shall pay the providing agency on or before July 1, 2017, the sum of \$28,261.00 which shall be for the period running to July 1, 2018, and \$28,261.00 on or before the first day of each July thereafter during the duration of this agreement for each succeeding twelve month period commencing July 1, through June 30, of each year.
6. **INDEMNITY.** The providing agency agrees to indemnify and hold harmless the township, and its agents or employees, from and against all loss or expense (including costs and attorneys fees) by reason of liability imposed by law upon the township, the agents or employees for damage because of bodily injury, including deaths at any time resulting therefrom by any person or persons or on account of damage to property, including loss of use thereof, arising out of or in consequence of the performance or

non performance of the "providing agency", township, or the agents or employees of either, except only such injury or damage as shall have been occasioned by the sole negligence of the township, its agents or employees.

7. **INSURANCE.** The providing agency agrees that during the terms of this agreement, it shall at its own expense, purchase and maintain the following insurance in companies properly licensed and satisfactory to the township, and also file copies of such insurance contracts with the townships.

A. Public Liability: Including coverage for direct operations, independent contractors, contractual liability, and completed operations, with limits not less than:

1. **Bodily Injury Liability** - \$100,000.00 each person
\$300,000.00 each occurrence
2. **Property Damage Liability** - \$100,000.00 each person
\$300,000.00 each occurrence

B. Workmens Compensation: Including employers liability in accordance with the Workmens Compensation Laws of the State of Iowa.

This agreement made and entered into this 25th day of January, 2017, shall be recorded in accordance with the provisions of Chapter 28E of The Code of Iowa.

CITY OF WEST BRANCH

BY _____
MAYOR

BY _____
CITY CLERK

GOWER TOWNSHIP

BY Wade R. Shick
TRUSTEE

BY Ray E. Thomas
TRUSTEE

BY Ray Anderson
TRUSTEE

AGREEMENT

This agreement entered into accordance with and under the provisions of the provisions of chapter 28E of the 1975 Code of Iowa on this 25th day of January, 2017, between the City of West Branch, hereinafter known as the "providing agency" and the Board of Trustees of Scott Township, Johnson County, Iowa, hereinafter referred to as "Township."

WITNESS:WHEREAS, one of the purposes of the providing agency is to provide certain persons and areas with fire protection and aid and assistance for other emergencies or disasters relating to life and property , and or hazardous materials.

WHEREAS, the providing agency is willing and able to provide fire protection to the township and the township deems it in the best financial and economic interests of Scott Township that the said protection be provided by the providing agency to the township for the safety and welfare of its citizens and its inhabitants.

IT IS, THEREFORE, AGREED AS FOLLOWS:

1. **PURPOSE.** The purpose of this agreement is to provide fire protection to the Scott Township or that portion thereof as set forth on the addendum attached to this agreement , said protection to be provided by the "providing agency."
2. **DURATION OF AGREEMENT.** This agreement shall be effective from the signing date of January 25th 2017, and shall automatically renew for one year for each year thereafter until notice be given by either party of its termination on or before April 1st of the year of renewal date , in writing, or unless terminated by mutual agreement of the parties. This agreement becomes effective on the date of signing by the parties.
3. **DUTIES OF THE PROVIDING AGENCY.** The providing agency shall in accordance with the terms and provisions of this agreement, provide fire protection to the property shown on the addendum attached hereto as shall be sufficient for the township to comply with the provisions of Section 359.42 of the 1975 Code of Iowa, as amended. Said duties shall include but not limited to, the providing of equipment and manpower for fire protection and responding to calls and needs in the providing of said protection in the areas covered by this agreement.
4. **CONTROL BY PROVIDING AGENCY.** All equipment and manpower utilized by the providing agency for fire protection agreed to herein shall at all times be under the direction and control of the Chief of the providing agency or the Officer in Charge.
5. **FINANCIAL PROVISIONS.** The township shall pay the providing agency on or before July 1, 2017, the sum of \$78,741.00 which shall be for the period running to July 1, 2018, and \$78,741.00 on or before the first day of each July thereafter during the duration of this agreement for each succeeding twelve month period commencing July 1, through June 30, of each year.
6. **INDEMNITY.** The providing agency agrees to indemnify and hold harmless the township, and its agents or employees, from and against all loss or expense (including costs and attorneys fees) by reason of liability imposed by law upon the township, the agents or employees for damage because of bodily injury, including deaths at any time resulting there from by any person or persons or on account of damage to property, including loss of use thereof, arising out of or in consequence of the performance or

non performance of the "providing agency", township, or the agents or employees of either, except only such injury or damage as shall have been occasioned by the sole negligence of the township, its agents or employees.

7. **INSURANCE.** The providing agency agrees that during the terms of this agreement, it shall at its own expense, purchase and maintain the following insurance in companies properly licensed and satisfactory to the township, and also file copies of such insurance contracts with the townships.

A. Public Liability: Including coverage for direct operations, independent contractors, contractual liability, and completed operations, with limits not less than:

1. Bodily Injury Liability - \$100,000.00 each person
\$300,000.00 each occurrence
2. Property Damage Liability - \$100,000.00 each person
\$300,000.00 each occurrence

B. Workmens Compensation: Including employers liability in accordance with the Workmens Compensation Laws of the State of Iowa.


This agreement made and entered into this 25th day of January, 2017, shall be recorded in accordance with the provisions of Chapter 28E of The Code of Iowa.

CITY OF WEST BRANCH

SCOTT TOWNSHIP

BY _____
MAYOR

BY  _____
TRUSTEE

BY  _____
TRUSTEE

BY _____
CITY CLERK

BY  _____
TRUSTEE

AGREEMENT

This agreement entered into accordance with and under the provisions of the provisions of chapter 28E of the 1975 Code of Iowa on this 25th day of January, 2017, between the City of West Branch, hereinafter known as the "providing agency" and the Board of Trustees of Springdale Township, Cedar County, Iowa, hereinafter referred to as "Township."

WITNESS: WHEREAS, one of the purposes of the providing agency is to provide certain persons and areas with fire protection and aid and assistance for other emergencies or disasters relating to life and property , and or hazardous materials.

WHEREAS, the providing agency is willing and able to provide fire protection to the township and the township deems it in the best financial and economic interests of Iowa Township that the said protection be provided by the providing agency to the township for the safety and welfare of its citizens and its inhabitants.

IT IS, THEREFORE, AGREED AS FOLLOWS:

1. **PURPOSE.** The purpose of this agreement is to provide fire protection to the Springdale Township or that portion thereof as set forth on the addendum attached to this agreement , said protection to be provided by the "providing agency."
2. **DURATION OF AGREEMENT.** This agreement shall be effective from the signing date of January 25th 2017, and shall automatically renew for one year for each year thereafter until notice be given by either party of its termination on or before April 1st of the year of renewal date , in writing, or unless terminated by mutual agreement of the parties. This agreement becomes effective on the date of signing by the parties.
3. **DUTIES OF THE PROVIDING AGENCY.** The providing agency shall in accordance with the terms and provisions of this agreement, provide fire protection to the property shown on the addendum attached hereto as shall be sufficient for the township to comply with the provisions of Section 359.42 of the 1975 Code of Iowa, as amended. Said duties shall include but not limited to, the providing of equipment and manpower for fire protection and responding to calls and needs in the providing of said protection in the areas covered by this agreement.
4. **CONTROL BY PROVIDING AGENCY.** All equipment and manpower utilized by the providing agency for fire protection agreed to herein shall at all times be under the direction and control of the Chief of the providing agency or the Officer in Charge.
5. **FINANCIAL PROVISIONS.** The township shall pay the providing agency on or before July 1, 2017, the sum of \$28,209.00 which shall be for the period running to July 1, 2018, and \$28,209.00 on or before the first day of each July thereafter during the duration of this agreement for each succeeding twelve month period commencing July 1, through June 30, of each year.
6. **INDEMNITY.** The providing agrees to indemnify and hold harmless the township, and its agents or employees, from and against all loss or expense (including costs and attorneys fees) by reason of liability imposed by law upon the township, the agents or employees for damage because of bodily injury, including deaths at any time resulting there from by any person or persons or on account of damage to property,

including loss of use thereof, arising out of or in consequence of the performance or non performance of the "providing agency", township, or the agents or employees of either, except only such injury or damage as shall have been occasioned by the sole negligence of the township, its agents or employees.

7. **INSURANCE.** The providing agency agrees that during the terms of this agreement, it shall at its own expense, purchase and maintain the following insurance in companies properly licensed and satisfactory to the township, and also file copies of such insurance contracts with the townships.

A. Public Liability: Including coverage for direct operations, independent contractors, contractual liability, and completed operations, with limits not less than:

1. **Bodily Injury Liability** - \$100,000.00 each person
\$300,000.00 each occurrence
2. **Property Damage Liability** - \$100,000.00 each person
\$300,000.00 each occurrence

B. Workmens Compensation: Including employers liability in accordance with the Workmens Compensation Laws of the State of Iowa.

This agreement made and entered into this 25th day of January, 2017, shall be recorded in accordance with the provisions of Chapter 28E of The Code of Iowa.

CITY OF WEST BRANCH

BY _____
MAYOR

BY _____
CITY CLERK

SPRINGDALE TOWNSHIP

BY Richard Paulsen
TRUSTEE

BY Mark Arlen
TRUSTEE

BY Kent Pedersen
TRUSTEE

AGREEMENT

This agreement entered into accordance with and under the provisions of the provisions of chapter 28E of the 1975 Code of Iowa on this 25th day of January, 2017, between the City of West Branch, hereinafter known as the "providing agency" and the Board of Trustees of Iowa Township, Cedar County, Iowa, hereinafter referred to as "Township."

WITNESS: WHEREAS, one of the purposes of the providing agency is to provide certain persons and areas with fire protection and aid and assistance for other emergencies or disasters relating to life and property , and or hazardous materials.

WHEREAS, the providing agency is willing and able to provide fire protection to the township and the township deems it in the best financial and economic interests of Iowa Township that the said protection be provided by the providing agency to the township for the safety and welfare of its citizens and its inhabitants.

IT IS, THEREFORE, AGREED AS FOLLOWS:

1. **PURPOSE.** The purpose of this agreement is to provide fire protection to the Iowa Township or that portion thereof as set forth on the addendum attached to this agreement , said protection to be provided by the "providing agency."
2. **DURATION OF AGREEMENT.** This agreement shall be effective from the signing date of January 25th, 2017, and shall automatically renew for one year for each year thereafter until notice be given by either party of its termination on or before April 1st of the year of renewal date , in writing, or unless terminated by mutual agreement of the parties. This agreement becomes effective on the date of signing by the parties.
3. **DUTIES OF THE PROVIDING AGENCY.** The providing agency shall in accordance with the terms and provisions of this agreement, provide fire protection to the property shown on the addendum attached hereto as shall be sufficient for the township to comply with the provisions of Section 359.42 of the 1975 Code of Iowa, as amended. Said duties shall include but not limited to, the providing of equipment and manpower for fire protection and responding to calls and needs in the providing of said protection in the areas covered by this agreement.
4. **CONTROL BY PROVIDING AGENCY.** All equipment and manpower utilized by the providing agency for fire protection agreed to herein shall at all times be under the direction and control of the Chief of the providing agency or the Officer in Charge.
5. **FINANCIAL PROVISIONS.** The township shall pay the providing agency on or before July 1, 2017, the sum of \$7,724.00 which shall be for the period running to July 1, 2018, and \$7,724.00 on or before the first day of each July thereafter during the duration of this agreement for each succeeding twelve month period commencing July 1, through June 30, of each year.
6. **INDEMNITY.** The providing agency agrees to indemnify and hold harmless the township, and its agents or employees, from and against all loss or expense (including costs and attorneys fees) by reason of liability imposed by law upon the township, the agents or employees for damage because of bodily injury, including deaths at any time resulting there from by any person or persons or on account of damage to property, including loss of use thereof, arising out of or in consequence of the performance or

non performance of the "providing agency", township, or the agents or employees of either, except only such injury or damage as shall have been occasioned by the sole negligence of the township, its agents or employees.

7. **INSURANCE.** The providing agency agrees that during the terms of this agreement, it shall at its own expense, purchase and maintain the following insurance in companies properly licensed and satisfactory to the township, and also file copies of such insurance contracts with the townships.

A. Public Liability: Including coverage for direct operations, independent contractors, contractual liability, and completed operations, with limits not less than:

1. **Bodily Injury Liability** - \$100,000.00 each person
\$300,000.00 each occurrence
2. **Property Damage Liability** - \$100,000.00 each person
\$300,000.00 each occurrence

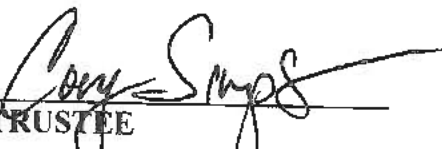
B. Workmens Compensation: Including employers liability in accordance with the Workmens Compensation Laws of the State of Iowa.

This agreement made and entered into this 25th day of January, 2017, shall be recorded in accordance with the provisions of Chapter 28E of The Code of Iowa.

CITY OF WEST BRANCH

IOWA TOWNSHIP

BY _____
MAYOR

BY 
TRUSTEE

BY 
TRUSTEE

BY _____
CITY CLERK

BY 
TRUSTEE

AGREEMENT

This agreement entered into accordance with and under the provisions of the provisions of chapter 28E of the 1975 Code of Iowa on this 25th day of January 2017, between the City of West Branch, hereinafter known as the "providing agency" and the Board of Trustees of Cass Township, Cedar County, Iowa, hereinafter referred to as "Township."

WITNESS:WHEREAS, one of the purposes of the providing agency is to provide certain persons and areas with fire protection and aid and assistance for other emergencies or disasters relating to life and property , and or hazardous materials.

WHERAS, the providing agency is willing and able to provide fire protection to the township and the township deems it in the best financial and economic interests of Cass Township that the said protection be provided by the providing agency to the township for the safety and welfare of its citizens and its inhabitants.

IT IS, THREFORE, AGREED AS FOLLOWS:

1. **PURPOSE.** The purpose of this agreement is to provide fire protection to the Cass Township or that portion thereof as set forth on the addendum attached to this agreement , said protection to be provided by the "providing agency."
2. **DURATION OF AGREEMENT.** This agreement shall be effective from the signing date of January 25th 2017, and shall automatically renew for one year for each year thereafter until notice be given by either party of its termination on or before April 1st of the year of renewal date , in writing, or unless terminated by mutual agreement of the parties. This agreement becomes effective on the date of signing by the parties.
3. **DUTIES OF THE PROVIDING AGENCY.** The providing agency shall in accordance with the terms and provisions of this agreement, provide fire protection to the property shown on the addendum attached hereto as shall be sufficient for the township to comply with the provisions of Section 359.42 of the 1975 Code of Iowa, as amended. Said duties shall include but not limited to, the providing of equipment and manpower for fire protection and responding to calls and needs in the providing of said protection in the areas covered by this agreement.
4. **CONTOL BY PROVIDING AGENCY.** All equipment and manpower utilized by the providing agency for fire protection agreed to herein shall at all times be under the direction and control of the Chief of the providing agency or the Officer in Charge.
5. **FINANCIAL PROVISIONS.** The township shall pay the providing agency on or before July 1, 2017, the sum of \$4638.00 which shall be for the period running to July 1, 2018, and \$4638.00 on or before the first day of each July thereafter during the duration of this agreement for each succeeding twelve month period commencing July 1, through June 30, of each year.
6. **INDEMNITY.** The providing agrees to indemnify and hold harmless the township, and its agents or employees, from and against all loss or expense (including costs and attorneys fees) by reason of liability imposed by law upon the township, the agents or employees for damage because of bodily injury, including deaths at any time resulting there from by any person or persons or on account of damage to property, including loss of use thereof, arising out of or in consequence of the performance or

non performance of the "providing agency", township, or the agents or employees of either, except only such injury or damage as shall have been occasioned by the sole negligence of the township, its agents or employees.

7. **INSURANCE.** The providing agency agrees that during the terms of this agreement, it shall at its own expense, purchase and maintain the following insurance in companies properly licensed and satisfactory to the township, and also file copies of such insurance contracts with the townships.

A. Public Liability: Including coverage for direct operations, independent contractors, contractual liability, and completed operations, with limits not less than:

1. **Bodily Injury Liability** - \$100,000.00 each person
\$300,000.00 each occurrence
2. **Property Damage Liability** - \$100,000.00 each person
\$300,000.00 each occurrence

B. Workmens Compensation: Including employers liability in accordance with the Workmens Compensation Laws of the State of Iowa.

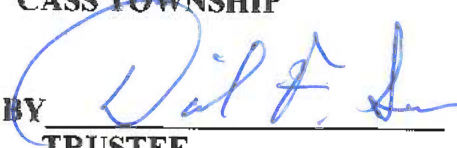
This agreement made and entered into this 25th day of January 2017, shall be recorded in accordance with the provisions of Chapter 28E of The Code of Iowa.

CITY OF WEST BRANCH

BY _____
MAYOR

BY _____
CITY CLERK

CASS TOWNSHIP

BY 
TRUSTEE

BY 
TRUSTEE

BY 
TRUSTEE

AGREEMENT

This agreement entered into accordance with and under the provisions of the provisions of chapter 28E of the 1975 Code of Iowa on this 25th day of January 2017, between the City of West Branch, hereinafter known as the "providing agency" and the Board of Trustees of Graham Township, Johnson County, Iowa, hereinafter referred to as "Township."

WITNESS: WHEREAS, one of the purposes of the providing agency is to provide certain persons and areas with fire protection and aid and assistance for other emergencies or disasters relating to life and property, and or hazardous materials.

WHEREAS, the providing agency is willing and able to provide fire protection to the township and the township deems it in the best financial and economic interests of Graham Township that the said protection be provided by the providing agency to the township for the safety and welfare of its citizens and its inhabitants.

IT IS, THEREFORE, AGREED AS FOLLOWS:

1. **PURPOSE.** The purpose of this agreement is to provide fire protection to the Graham Township or that portion thereof as set forth on the addendum attached to this agreement, said protection to be provided by the "providing agency."
2. **DURATION OF AGREEMENT.** This agreement shall be effective from the signing date of January 25th 2017, and shall automatically renew for one year for each year thereafter until notice be given by either party of its termination on or before April 1st of the year of renewal date, in writing, or unless terminated by mutual agreement of the parties. This agreement becomes effective on the date of signing by the parties.
3. **DUTIES OF THE PROVIDING AGENCY.** The providing agency shall in accordance with the terms and provisions of this agreement, provide fire protection to the property shown on the addendum attached hereto as shall be sufficient for the township to comply with the provisions of Section 359.42 of the 1975 Code of Iowa, as amended. Said duties shall include but not limited to, the providing of equipment and manpower for fire protection and responding to calls and needs in the providing of said protection in the areas covered by this agreement.
4. **CONTROL BY PROVIDING AGENCY.** All equipment and manpower utilized by the providing agency for fire protection agreed to herein shall at all times be under the direction and control of the Chief of the providing agency or the Officer in Charge.
5. **FINANCIAL PROVISIONS.** The township shall pay the providing agency on or before July 1, 2017, the sum of \$17,815.00 which shall be for the period running to July 1, 2018, and \$17,815.00 on or before the first day of each July thereafter during the duration of this agreement for each succeeding twelve month period commencing July 1, through June 30, of each year.
6. **INDEMNITY.** The providing agency agrees to indemnify and hold harmless the township, and its agents or employees, from and against all loss or expense (including costs and attorneys fees) by reason of liability imposed by law upon the township, the agents or employees for damage because of bodily injury, including deaths at any time resulting there from by any person or persons or on account of damage to property, including loss of use thereof, arising out of or in consequence of the performance or

non performance of the "providing agency", township, or the agents or employees of either, except only such injury or damage as shall have been occasioned by the sole negligence of the township, its agents or employees.

7. **INSURANCE.** The providing agency agrees that during the terms of this agreement, it shall at its own expense, purchase and maintain the following insurance in companies properly licensed and satisfactory to the township, and also file copies of such insurance contracts with the townships.

A. Public Liability: Including coverage for direct operations, independent contractors, contractual liability, and completed operations, with limits not less than:

1. Bodily Injury Liability - \$100,000.00 each person
\$300,000.00 each occurrence

2. Property Damage Liability - \$100,000.00 each person
\$300,000.00 each occurrence

B. Workmens Compensation: Including employers liability in accordance with the Workmens Compensation Laws of the State of Iowa.

This agreement made and entered into this 25th day of January, 2017, shall be recorded in accordance with the provisions of Chapter 28E of The Code of Iowa.

CITY OF WEST BRANCH

BY _____
MAYOR

BY _____
CITY CLERK

GRAHAM TOWNSHIP

BY  2/5/17
TRUSTEE

BY  2/5-17
TRUSTEE

BY  2/5/17
TRUSTEE

RESOLUTION NO. 1596

RESOLUTION APPROVING AN AGREEMENT FOR THE MUSIC ON THE GREEN CONCERT SERIES.

WHEREAS, one of the City's premier events of the year is the Music on the Green Concert Series; and

WHEREAS, the fiscal year 2016-2017 and fiscal year 2017-2018 budgets for community and development include funding for entertainment; and

WHEREAS, a proposed service agreement in the amount of \$500.00 for The Feralings is hereby presented for consideration by the City Council; and

WHEREAS, it is now necessary to approve said agreements.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Iowa that the aforementioned agreements are hereby approved. Further, the Mayor is directed to execute the agreements on behalf of the City.

Passed and approved this 3rd day of April, 2017.

Roger Laughlin, Mayor

ATTEST:

Gordon Edgar, Deputy City Clerk

City of West Branch PERFORMANCE CONTRACT

This contract (the "Agreement") is made on this day of March 19, 2017, between The City of West Branch ("City") and The Feralings (the "Performer") for the hiring of the Performer as independent contractors to perform (the "Show") for the City at Village Green (the "Venue"), located at the address Main St. & Parkside.

It is agreed as follows:

1. **Place, date, and time of Show.** The parties agree that the time and place of Show will be Venue, located at the address Main St. & Parkside, on the 20th day of July, 2017, from 7pm to 8pm.

2. **Description of Show.** One hour of music. Performer to provide PA system, and will set-up and break down all equipment.

Show will last of a minimum of 60 minutes.

3. **Payment.** Compensation for the Show will be \$500 dollars, payable by check being the "Fee." The whole of the Fee is due immediately following the Performer's Show, but may be made earlier.

4. **Cancellation.** Cancellation may be made by City before two days prior to the time of Show. The City is unable and therefore will not pay funds if the Show is not performed for any reason.

5. **Force Majeure.** In the event Show cannot reasonably be put on because of unpredictable occurrences such as an act of nature, government, or illness/disability of the Performer, the 50% deposit of Fee is non-refundable, but no other portion of Fee is due, and the parties may negotiate a substitute Show on the same terms as this Agreement save for the time of Show, with no further deposit of Fee due, in which case a new Agreement reflecting this will be signed by the parties. No further damages may be sought for failure to perform because of force majeure.

6. **Food and Drink.** The Performer is responsible for providing all food and drink required to complete the performance.

7. **Parking.** the City will secure sufficient parking for the Performer's personnel and equipment transportation within a reasonably convenient distance to Venue for a minimum period of 2 hours prior to the show and lasting until 1 hour after the show.

8. **Sound Systems Check.** A sound check conducted by the Performer of Venue's sound system is required, at a time to be mutually arranged between the Performer and the City.

9. **Insurance, Security, Health, and Safety.** The Performer is required to have Proof of Insurance provided to the City at the time that this contract is signed. Insurance documents must show coverage for any and all damage to equipment as well as any personal injury that may be incurred as a result of the scheduled Show. The City warrants that the Venue will be of sufficient size to safely conduct Show, that the Venue is of stable construction and sufficiently

protected from weather, and that there will be adequate security and/or emergency medical responders available if foreseeably necessary.

10. **Indemnification.** The City indemnifies and holds the Performer harmless for any claims of property damage or bodily injury caused by Show attendees. The Performer indemnifies and holds the City harmless for any claims of property or bodily injury caused by performance in the Show.

11. **Severability.** If any portion of Agreement is in conflict with any applicable law, such portion will become inoperative, but all other portions of Agreement will remain in force.

12. **Interpretation.** Agreement will be interpreted according to the laws of Iowa.

13. **Riders.** Nothing in Agreement shall prevent any rider from being added to Agreement that is favorable to the Performer or City, as judged by the City. All riders must be in writing and signed by the party against whom enforcement is sought.

The below-signed the Performer Representative warrants s/he has authority to sign this agreement for the Performer in its entirety. The below signed the City's Representative warrants s/he has authority to bind the City and Venue (above).

Signature of the Performer Representative:  _____

Patrick Brickel, Member

Performer's Representative printed name and title: _____

The Feralings

Performer's printed name: _____

230 W. 2nd St Tiffin, IA 52340

Performer's Address: _____

319-541-8794

Performer's Phone #: _____

City's Representative Signature: _____

City's Representative printed name and title: _____

Please note: The attached W-9 must be completed and returned before Performer can be paid.

RESOLUTION NO. 1597

RESOLUTION APPROVING ANNUAL INSURANCE RENEWALS WITH WELLMARK
BLUE CROSS BLUE SHIELD OF IOWA FOR HEALTH AND DENTAL INSURANCE.

WHEREAS, the City of West Branch, Iowa received insurance renewal quotations from Wellmark Blue Cross Blue Shield of Iowa for health and dental insurance; and

WHEREAS, after reviewing the insurance renewal quotations, the City Council has decided to accept the quotations, effective April 1, 2017.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Iowa, that the insurance renewals with Wellmark Blue Cross Blue Shield of Iowa are hereby approved.

Passed and approved this 3rd day of April, 2017.

Roger Laughlin, Mayor

ATTEST:

Gordon Edgar, Deputy City Clerk

Account Key: 20241
Effective Date: 04/01/2017
Representative: Jennifer Rice (Direct)
Group Number: 35246-0000

CITY OF WEST BRANCH



Wellmark Blue Cross Blue Shield of Iowa
Wellmark Health Plan of Iowa, Inc.

Independent Licensees of the Blue Cross and
Blue Shield Association

Notice of Renewal Rates

Health Benefits 1 Current

Benefit Code:	JKE/QPT - Alliance Select	
Deductible:	\$250/\$500	04/01/2016
Coinsurance:	10% IN 20% OUT	Single Coverage: \$527.81
OPM:	\$1000/\$2000	Family Coverage: \$1,319.49
Preventive:	Yes	
OV Copay:	N/A	
ER Copay:	N/A	
RX Description:	\$10/\$25/\$40	

Health Benefits 1 Renewal

Benefit Code:	JKE/QPT - Alliance Select	GF
Deductible:	\$250/\$500	04/01/2017
Coinsurance:	10% IN 20% OUT	Single Coverage: \$644.17
OPM:	\$1000/\$2000	Family Coverage: \$1,610.49
Preventive:	Yes	
OV Copay:	N/A	
ER Copay:	N/A	
RX Description:	\$10/\$25/\$40	% of Change: 22.05%

Dental Benefits 1 Current

Benefit Code:	204	
Deductible:	\$25/\$75	04/01/2016
Diag and Prev:	20%	Single Coverage: \$27.18
Rout and Restore:	50%	Family Coverage: \$92.55
Major Restorative:	50%	
Annual Max/Person:	\$1500	
Orthodontics:	50%	

Dental Benefits 1 Renewal

Benefit Code:	204	
Deductible:	\$25/\$75	04/01/2017
Diag and Prev:	20%	Single Coverage: \$28.25
Rout and Restore:	50%	Family Coverage: \$96.19
Major Restorative:	50%	
Annual Max/Person:	\$1500	
Orthodontics:	50%	

RESOLUTION NO. 1598

RESOLUTION APPROVING THE WAGE WORKS FLEXIBLE SPENDING ACCOUNT
RENEWAL FOR APRIL 1, 2017 – JANUARY 31, 2018

WHEREAS, the City of West Branch, Iowa received a renewal quotation from Wage Works for administration of a flexible spending account program; and

WHEREAS, after reviewing the flexible spending account renewal quotation, the City Council has decided to accept the quotation for the coming year ending on January 31, 2018.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of West Branch, Iowa, that the flexible spending account renewal with Wage Works is hereby approved.

Passed and approved this 3rd day of April, 2017.

Roger Laughlin, Mayor

ATTEST:

Gordon Edgar, Deputy City Clerk

Project	Feature	Utilized	2013 Price	2016 Price	Unit	Quantity	2016 Cost
Adair (2000233)	Traffic Rail	Barrier Rail	\$50.00	\$55.00	LF	314	\$17,270.00
	Handrail	Steel Pipe	\$60.00	\$70.00	LF	286	\$20,020.00
	Sidewalk Rail	Chain Link Fence	\$35.00	\$40.00	LF	314	\$12,560.00
	Lights	NA - Not Mounted on Bridge	NA	NA	NA		
	Total Cost of Aesthetic Features =						\$49,850.00
Corning (2008112)	Traffic Rail	Open Rail (closed windows)	\$55.00	\$60.00	LF	314	\$18,840.00
	Handrail	Steel Pipe (painted/coated)	\$70.00	\$80.00	LF	286	\$22,880.00
	Sidewalk Rail	Chain Link Fence (vinyl coated)	\$45.00	\$50.00	LF	314	\$15,700.00
	Lights	NA - Not Mounted on Bridge	NA	NA	NA		
	Total Cost of Aesthetic Features =						\$57,420.00
King's Highway Hamilton Blvd. (2012172)	Traffic Rail	Aesthetic Barrier (Stone Stamp)	\$100.00	\$110.00	LF	314	\$34,540.00
	Handrail	Structural Steel Handrail	\$80.00	\$90.00	LF	286	\$25,740.00
	Sidewalk Rail	Structural Steel Railing	\$130.00	\$140.00	LF	314	\$43,960.00
	Lights	NA - Not Mounted on Bridge	NA	NA	NA		
	Total Cost of Aesthetic Features =						\$104,240.00
Centerville (2004094)	Traffic Rail	Aesthetic Barrier (Texas Rail)	\$100.00	\$110.00	LF	314	\$34,540.00
	Traffic Rail	Colored Sealer Coat on Barrier	\$30.00	\$35.00	SY	258	\$9,030.00
	Handrail	Structural Steel Handrail	\$80.00	\$90.00	LF	286	\$25,740.00
	Sidewalk Rail	Structural Steel Railing	\$130.00	\$140.00	LF	314	\$43,960.00
	Street Lights	Decorative Street Lights	\$5,000.00	\$5,500.00	Each	6	\$33,000.00
	Total Cost of Aesthetic Features =						\$146,270.00
Carlisle (2000239)	Traffic Rail	Aesthetic Barrier (Texas Rail)	\$100.00	\$110.00	LF	314	\$34,540.00
	Traffic Rail	Colored Sealer Coat on Barrier	\$30.00	\$35.00	SY	258	\$9,030.00
	Handrail	Structural Steel Handrail	\$100.00	\$110.00	LF	286	\$31,460.00
	Sidewalk Rail	Structural Steel Railing	\$130.00	\$140.00	LF	314	\$43,960.00
	Street Lights	Decorative Street Lights	\$5,000.00	\$5,500.00	Each	6	\$33,000.00
	Total Cost of Aesthetic Features =						\$151,990.00
Arnolds Park (2002139)	Traffic Rail	Aesthetic Barrier (Texas Rail)	\$100.00	\$110.00	LF	314	\$34,540.00
	Traffic Rail	Colored Sealer Coat on Barrier	\$30.00	\$35.00	SY	258	\$9,030.00
	Handrail	Structural Steel Handrail	\$140.00	\$150.00	LF	286	\$42,900.00
	Sidewalk Rail	Structural Steel Railing	\$170.00	\$180.00	LF	314	\$56,520.00
	Street Lights	Decorative Street Lights	\$8,000.00	\$10,000.00	Each	4	\$40,000.00
	Total Cost of Aesthetic Features =						\$182,990.00

Cost Estimate for Aesthetic Options

Feature / Option	Picture / Project	2016 Price	Unit	Quantity	2016 Cost
Traffic Rail					
Barrier Rail	Adair	\$75.00	LF	174	\$13,050.00
Open Rail (closed windows)	Corning	\$70.00	LF	174	\$12,180.00
Texas Rail (standard concrete)	Conrad, Coon Rapids	\$130.00	LF	174	\$22,620.00
Texas Rail (colored sealer)	Carlisle, Arnolds Park, Centerville, Rockford	\$150.00	LF	174	\$26,100.00
Stone Stamped Barrier	Kings Highway, Hamilton Blvd	\$150.00	LF	174	\$26,100.00
Brick Veneer Barrier	38th St.	\$250.00	LF	174	\$43,500.00
Handrail					
Steel Pipe (no paint/coating)	Adair	\$80.00	LF	73	\$5,840.00
Steel Pipe (with paint/coating)	Corning	\$90.00	LF	73	\$6,570.00
Single Rail (standard)	Conrad, Centerville, Rockford, 38th St	\$100.00	LF	73	\$7,300.00
Single Rail (side mount)	Kings Highway, Hamilton Blvd	\$100.00	LF	73	\$7,300.00
Double Rail w/ Balusters	Carlisle, Coon Rapids	\$120.00	LF	73	\$8,760.00
Arcing Rail	Arnolds Park	\$150.00	LF	73	\$10,950.00
Sidewalk Rail					
Chain Link Fence (uncoated)	Adair	\$40.00	LF	87	\$3,480.00
Chain Link Fence (vinyl coating)	Corning	\$50.00	LF	87	\$4,350.00
Standard Rail w/ Balusters	Carlisle, Centerville, Rockford, Coon Rapids, Conrad	\$140.00	LF	87	\$12,180.00
Double Rail w/ Balusters	Kings Highway, Hamilton Blvd, 38th St	\$150.00	LF	87	\$13,050.00
Arcing Rail w/ Balusters	Arnolds Park	\$180.00	LF	87	\$15,660.00
Lights					
Standard Single on Pilaster	Carlisle, Centerville, Rockford, Coon Rapids, Conrad	\$5,500.00	Each	4	\$22,000.00
Triple/double on pilaster	Arnolds Park, Rockford	\$6,000.00	Each	4	\$24,000.00
Fixture on Custom Pilaster	38th St	\$7,500.00	Each	4	\$30,000.00
Large Stone faced Pilaster	Arnolds Park	\$10,000.00	Each	4	\$40,000.00

Notes

- 1) Barrier Rails can be any color (colored concrete or colored sealer)
- 2) Sidewalk rails, Handrails and light poles can be any color
- 3) Various types and styles of light poles, bracket arms, luminaires and lights
- 4) Lights can be mounted to barrier rail pilasters or sidewalk rail pilasters

RESOLUTION NO. 1599

A RESOLUTION APPROVING PEDERSEN VALLEY PART THREE PHASE TWO,
LOTS 41 & 42 AND PEDERSEN VALLEY PART FIVE, OUTLOT G SITE PLAN

WHEREAS, IWB LLC has heretofore submitted a proposed Site Plan to construct multi-family housing located near Hilltop Drive in the City of West Branch, Iowa (the “Project”); and

WHEREAS, said Site Plan has heretofore been reviewed by City Staff, including the City Engineer; and

WHEREAS, the Site Plan has been found to conform to West Branch Code of Ordinances; and

WHEREAS, the City of West Branch Planning and Zoning Commission has reviewed the Site Plan and recommended its approval to the West Branch City Council; and

WHEREAS, it is now necessary for the City Council to approve said Site Plan.

NOW, THEREFORE, BE IT RESOLVED, be it resolved by the City Council of the City of West Branch, Cedar County, Iowa, that the aforementioned Site Plan for the Project be and the same are hereby accepted and approved.

* * * * *

Passed and approved this 3rd day of April, 2017.

Roger Laughlin, Mayor

ATTEST:

Gordon Edgar, Deputy City Clerk



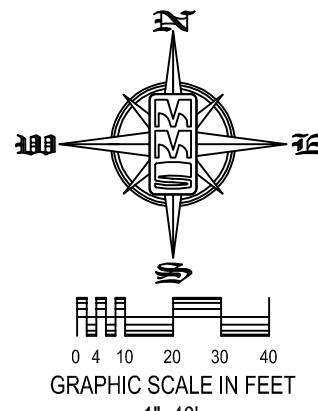
CIVIL ENGINEERS
LAND PLANNERS
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LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
01/19/17	REVIEW COMMENTS-BTM
03/21/17	REVISIONS PER OWNER-BTM/NPB

SITE PLAN

PEDERSEN VALLEY PART THREE - PHASE TWO, LOTS 41 & 42 AND PEDERSEN VALLEY PART FIVE, OUTLOT G WEST BRANCH, IOWA



PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
IWB LLC
1945 BROWN DEER TRAIL
CORALVILLE, IA 52241

APPLICANT'S ATTORNEY:
MATT ADAM
1945 BROWN DEER TRAIL
CORALVILLE, IA 52241

STANDARD LEGEND AND NOTES	
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	POWER POLE
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	TELEPHONE LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

- SHEET INDEX**
- 1 SITE LAYOUT AND DIMENSION PLAN
 - 2 SITE GRADING AND EROSION CONTROL PLAN
 - 3 ENLARGED DETAILED GRADING PLAN
 - 4 SITE UTILITY PLAN
 - 5 SITE LANDSCAPE PLAN
 - 6 GENERAL NOTES AND DETAILS

LEGAL DESCRIPTION
LOTS 41 AND 42, PEDERSEN VALLEY PART THREE - PHASE TWO, WEST BRANCH, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF.

AND
OUTLOT G, PEDERSEN VALLEY PART FIVE, WEST BRANCH, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF.

SAID TRACT OF LAND CONTAINS 3.19 ACRES, (139,076 SQUARE FEET), AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

CURRENT ZONING: R-3	
LOT AREA	139,076 SF (100%)
BUILDING AREA	23,645 SF (17.0%)
PAVING AREA	21,900 SF (15.7%)
TOTAL IMPERVIOUS AREA	45,545 SF (32.7%)
OPEN SPACE	93,531 SF (67.3%)

BUILDING CHARACTERISTICS:	
BUILDING A (TYPE I) - 3 UNITS	2,979 SF
BUILDING B (TYPE II) - 3 UNITS	3,125 SF
BUILDING C (TYPE I) - 3 UNITS	2,979 SF
BUILDING D (TYPE III) - 4 UNITS	3,972 SF
BUILDING E (TYPE IV) - 2 UNITS	3,530 SF
BUILDING F (TYPE IV) - 2 UNITS	3,530 SF
BUILDING G (TYPE IV) - 2 UNITS	3,530 SF
TOTAL BUILDING SPACE	= 23,645 SF

SETBACK REQUIREMENTS:
FRONT YARD = 25 FEET
REAR YARD = 8 FEET
SIDE YARD = 25 FEET

PARKING REQUIREMENTS:
2 SPACES PER DWELLING UNIT
19 DWELLING UNITS = 38 SPACES
TOTAL PARKING REQUIRED = 38 SPACES
TOTAL PARKING PROVIDED = 43 SPACES

TREE REQUIREMENTS:
1 1500 SF OPEN SPACE
93,531 SF OPEN SPACE = 63 TREES
TREES REQUIRED = 63
TREES PROVIDED = 63

ALL GROUND LEVEL MECHANICAL AND UTILITY EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW

KEYNOTES		
NUMBER	KEYNOTE	DETAIL
101	INSTALL 7" PCC DRIVE	1/5
102	INSTALL 5" PCC PARKING	
103	INSTALL 5" PCC DRIVEWAY	
104	INSTALL 3" ROLL CURB	2/5
105	INSTALL 4" PCC SIDEWALK IN ACCORDANCE WITH THE CITY OF WEST BRANCH SPECIFICATIONS	
106	PCC TRAIL BY OTHERS	
107	SITE WALL; COORDINATE MATERIAL AND ORIENTATION WITH ARCHITECT AND BUILDER	
108	RELOCATE MAILBOX; COORDINATE NEW LOCATIONS WITH CITY OF WEST BRANCH	
109	INSTALL PARKING CURB STOP (TYP. OF 5)	3/5
110	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP.)	

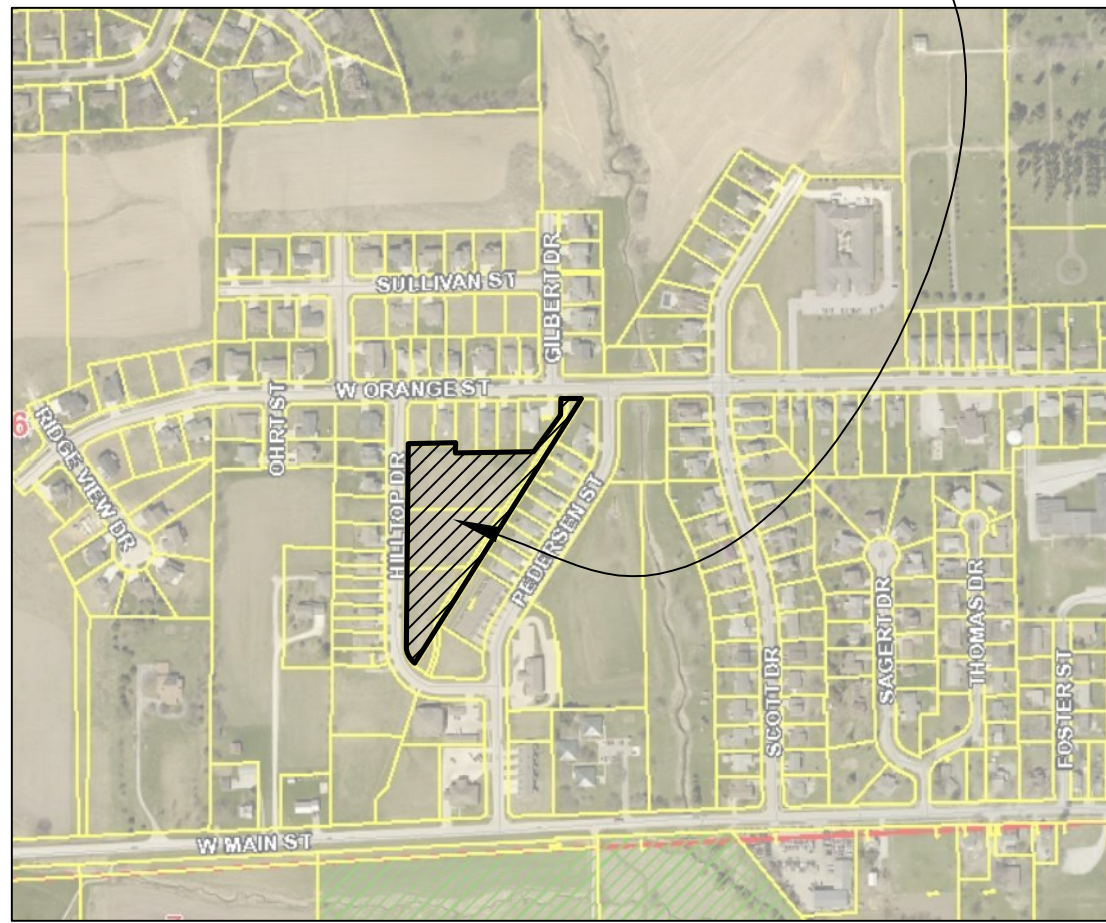
BENCHMARK INFORMATION			
POINT	ELEVATION	DATUM	DESCRIPTION
21000	771.79	NAVD88	BENCHMARK (BOLT ARROW HEAD)
21036	744.32	NAVD88	BENCHMARK (BOLT BY ARROW HEAD)

I hereby certify that this engineering document was prepared by me or under my direct supervision and I am a duly licensed Professional Engineer under the laws of the State of Iowa.

BENJAMIN T. MITCHELL
P.E. Iowa Lic. No. 23397
I certify my work was done on December 31, 20____.

SEAL

PEDERSEN VALLEY PART THREE - PHASE TWO, LOTS 41 & 42
AND PEDERSEN VALLEY PART FIVE, OUTLOT G
WEST BRANCH, IOWA

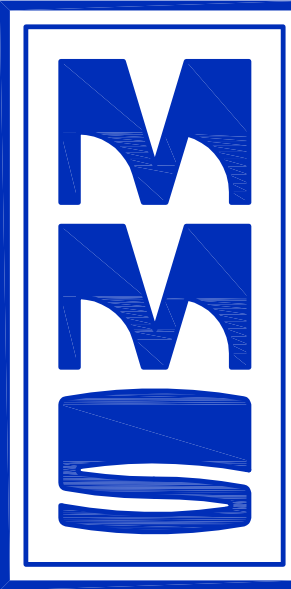


LOCATION MAP
NOT TO SCALE

**SITE LAYOUT AND
DIMENSION
PLAN**

PEDERSEN VALLEY PART
THREE - PHASE TWO, LOTS
41 & 42 AND PEDERSEN
VALLEY PART FIVE,
OUTLOT G
WEST BRANCH
CEDAR COUNTY
IOWA

MMS CONSULTANTS, INC.	
Date:	12-16-16
Designed by: BTM	Field Book No: 1161
Drawn by: NPB	Scale: 1"=40'
Checked by: BTM	Sheet No: 1
Project No:	IOWA CITY
10100002	of: 6



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
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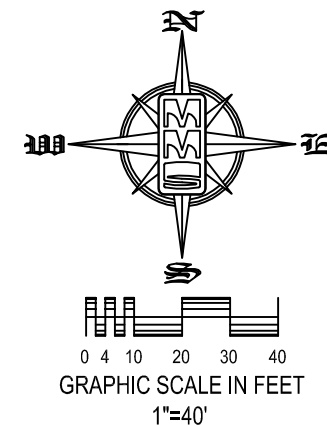
Date	Revision
01/19/17	REVIEW COMMENTS-BTM
03/21/17	REVISIONS PER OWNER-BTM/MPB

SITE GRADING AND EROSION CONTROL PLAN

PEDERSEN VALLEY PART THREE - PHASE TWO, LOTS 41 & 42 AND PEDERSEN VALLEY PART FIVE, OUTLOT G WEST BRANCH CEDAR COUNTY IOWA

MMS CONSULTANTS, INC.
Date: 12-16-16
Designed by: BTM Field Book No: 1161
Drawn by: NPB Scale: 1"=40'
Checked by: BTM Sheet No: 2
Project No: 10100002
IOWA CITY
of: 6

SITE PLAN PEDERSEN VALLEY PART THREE - PHASE TWO, LOTS 41 & 42 AND PEDERSEN VALLEY PART FIVE, OUTLOT G WEST BRANCH, IOWA



PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
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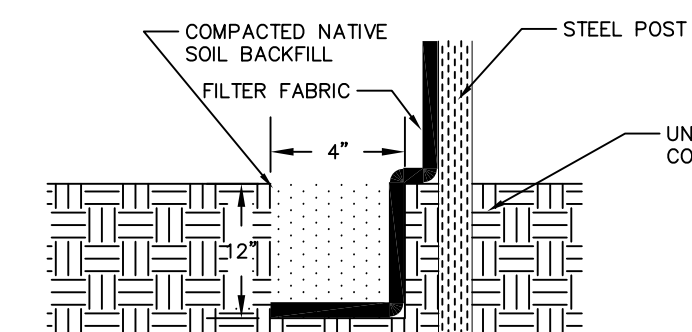
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1945 BROWN DEER TRAIL
CORALVILLE, IA 52241

APPLICANT'S ATTORNEY:
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STANDARD LEGEND AND NOTES	
---	PROPERTY &/or BOUNDARY LINES
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---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1
---	POWER POLE
---	POWER POLE W/DROP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	GUY POLE
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
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SILT FENCE DETAIL N.T.S.



- INSTALLATION**
- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
 - SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01.A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
 - THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL OUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
 - POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
 - A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS. FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
 - THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

- MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN-FALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
 - SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
 - SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 3.19 ACRES
TOTAL AREA TO BE DISTURBED: 2.50 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

GRADING NOTES

- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3.5: HORIZONTAL TO 1: VERTICAL.
- NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- COMPACTION TO BE 90% MODIFIED PROCTOR WHERE > 6:1 SLOPE.
- ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.

STABILIZATION SEEDING

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 9010.2.02 SEED MIXTURES AND SEEDING DATES.

TABLE 9010.06: TYPE 4 SEED MIXTURE

COMMON NAME	APPLICATION RATE lb./acre
SUMMER - MARCH 1 - MAY 20	
ANNUAL RYEGRASS	40
OATS*	65
FALL - MAY 21 - AUGUST 14	
ANNUAL RYEGRASS	50
OATS*	95
FALL - AUGUST 15 - SEPTEMBER 30	
ANNUAL RYEGRASS	40
GRAIN RYE	65

* ENGINEER MAY DELETE FOR PREVIOUSLY ESTABLISHED URBAN AREAS.

FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER (SUDAS SECTION 9010.2.03 A.2)

EROSION CONTROL LEGEND

---	SILT FENCE/FILTER SOCK	---	PERIMETER SILT FENCE
---	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT	---	TEMPORARY SOIL STOCKPILE AREA
---	TEMPORARY PARKING AND STORAGE	---	DIRECTION OF OVERLAND FLOW
---	CONCRETE TRUCK/EQUIPMENT WASHOUT	---	DUMPSTER FOR CONSTRUCTION WASTE
---	PORTABLE RESTROOM	---	RIP RAP OUTLET PROTECTION
---	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)	---	OTHER MEASURE: _____
---	FILTER SOCK INLET PROTECTION	---	OTHER MEASURE: _____
---	FILTER SOCK BEHIND CURB AT CURB RAMP	---	OTHER MEASURE: _____

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

ENLARGED
DETAILED
GRADING PLAN

MMS CONSULTANTS, INC	
Date:	12-16-16
Designed by: BTM	Field Book No: 1161
Drawn by: NPB	Scale: 1"=20'
Checked by: BTM	Sheet No: 3
Project No: IOWA CITY 10100002	of: 6

APPLICANT'S ATTORNEY:
MATT ADAM
1945 BROWN DEER TRAIL
CORALVILLE, IA 52241

SHEET INDEX

1	SITE LAYOUT AND DIMENSION PLAN
2	SITE GRADING AND EROSION CONTROL PLAN
3	<i>ENLARGED DETAILED GRADING PLAN</i>
4	SITE UTILITY PLAN
5	SITE LANDSCAPE PLAN
6	GENERAL NOTES AND DETAILS

LOCATION MAP
NOT TO SCALE





CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
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Date	Revision
01/19/17	REVIEW COMMENTS-BTM
03/21/17	REVISIONS PER OWNER-BTM/NPB

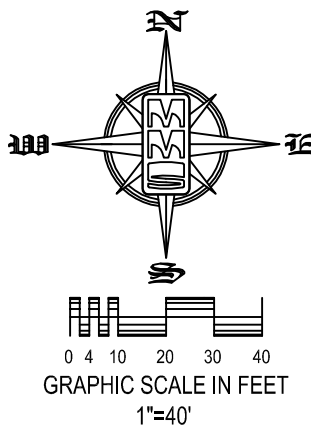
SITE UTILITY PLAN

PEDERSEN VALLEY PART THREE - PHASE TWO, LOTS 41 & 42 AND PEDERSEN VALLEY PART FIVE, OUTLOT G WEST BRANCH, CEDAR COUNTY IOWA

MMS CONSULTANTS, INC.	
Date:	12-16-16
Designed by:	BTM
Field Book No:	1161
Drawn by:	NPB
Scale:	1"=40'
Checked by:	BTM
Sheet No:	4
Project No:	IOWA CITY 10100002
of:	6

SITE PLAN

PEDERSEN VALLEY PART THREE - PHASE TWO, LOTS 41 & 42 AND PEDERSEN VALLEY PART FIVE, OUTLOT G WEST BRANCH, IOWA



PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
IWB LLC
1945 BROWN DEER TRAIL
CORALVILLE, IA 52241

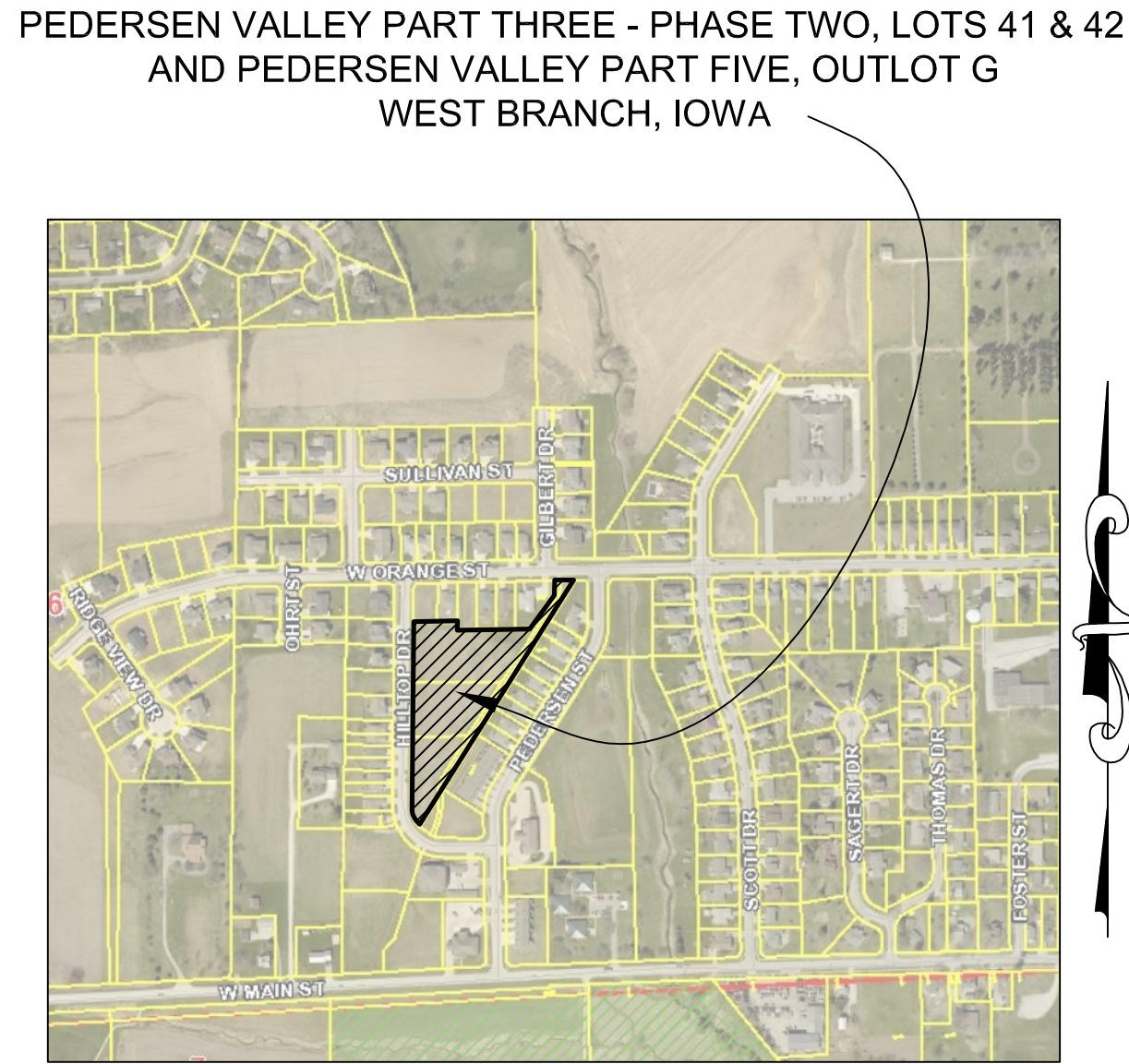
APPLICANT'S ATTORNEY:
MATT ADAM
1945 BROWN DEER TRAIL
CORALVILLE, IA 52241

UTILITY COMPANY CONTACTS		
SERVICE	SUPPLIER	PHONE NO.
ENERGY	ALLIANT ENERGY ATTN: LAURA BARR	319-286-1315
NATURAL GAS	KINDER MORGAN ATTN: CLAY POPE	713-369-8319
COMMUNICATIONS	LIBERTY COMMUNICATIONS ATTN: JERRY MELICK	319-627-2145
ENERGY/GAS	ENTERPRISE PRODUCTS OPERATING ATTN: RIKI PARKS	877-243-2255
TELEPHONE & CABLE TV	MEDIACOM ATTN: KEVIN FOUNTAIN	319-351-0408
WEST BRANCH, CITY OF	CITY OF WEST BRANCH ATTN: TY DOERMANN	319-643-5888

STANDARD LEGEND AND NOTES	
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	POWER POLE
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	LIGHT POLE
	GULLY POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	TELEPHONE LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

- SHEET INDEX**
- 1 SITE LAYOUT AND DIMENSION PLAN
 - 2 SITE GRADING AND EROSION CONTROL PLAN
 - 3 ENLARGED DETAILED GRADING SITE
 - 4 **SITE UTILITY PLAN**
 - 5 SITE LANDSCAPE PLAN
 - 6 GENERAL NOTES AND DETAILS



LOCATION MAP

NOT TO SCALE



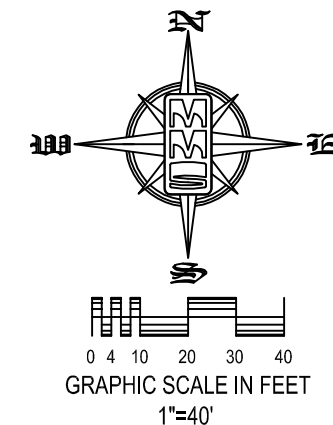
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03/21/17	REVISIONS PER OWNER-BTMNPB

SITE PLAN

PEDERSEN VALLEY PART THREE - PHASE TWO, LOTS 41 & 42 AND PEDERSEN VALLEY PART FIVE, OUTLOT G WEST BRANCH, IOWA



PLAT PREPARED BY:
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STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
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- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

(R) 22-1

-EXIST- -PROP-

- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
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THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

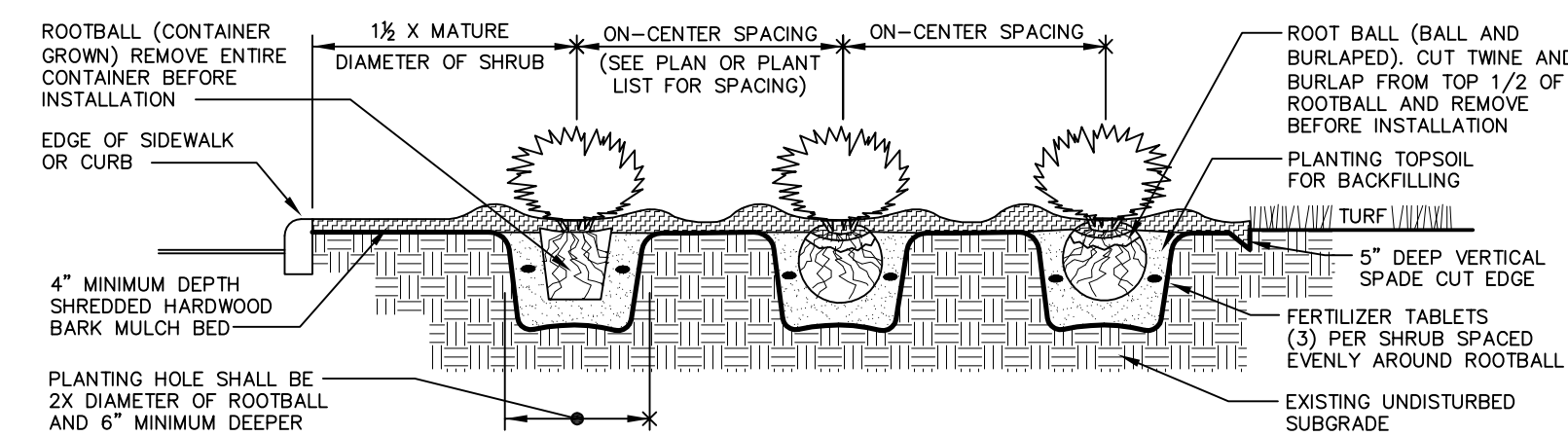
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 - 6 GENERAL NOTES AND DETAILS

TYPICAL SHRUB LAYOUT; EACH UNIT GETS 4 SHRUBS FROM THE LIST BELOW:
INDIAN GRASS
RED FLAME GRASS
DWARF MUHGO PINE
DWARF NORWAY SPRUCE
SNOWMOUND SPIREA
GOLDFLAME SPIREA
GLOBE BLUE SPRUCE
GOLD COAST JUNIPER

QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	NATURE SIZE
5	AB	ACER x FREEMANII 'AUTUMN PLAZE'	AUTUMN PLAZE RED MAPLE	2" CAL	D & D	50' X 30'
16	AM	ACER GINNALA	AULR MAPLE	1 1/2" CAL	D & D	15' X 15'
8	AR	ACER RUBRUM	RED SUNSET RED MAPLE	2" CAL	D & D	50' X 30'
7	CC	CERCIS CANADENSIS	EASTERN REDBUD	1 1/2" CAL	D & D	25' X 15'
7	CF	CORNUS FLORIDA	FLOWERING DOGWOOD	15" CAL	D & D	30' X 20'
5	CR	GRATIAEUS CRUGALLI INERMIS	THORNLESS COCKSPUR HAWTHORN	2" CAL	D & D	20' X 15'
15	MS	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	1 1/2" CAL	D & D	15' X 15'

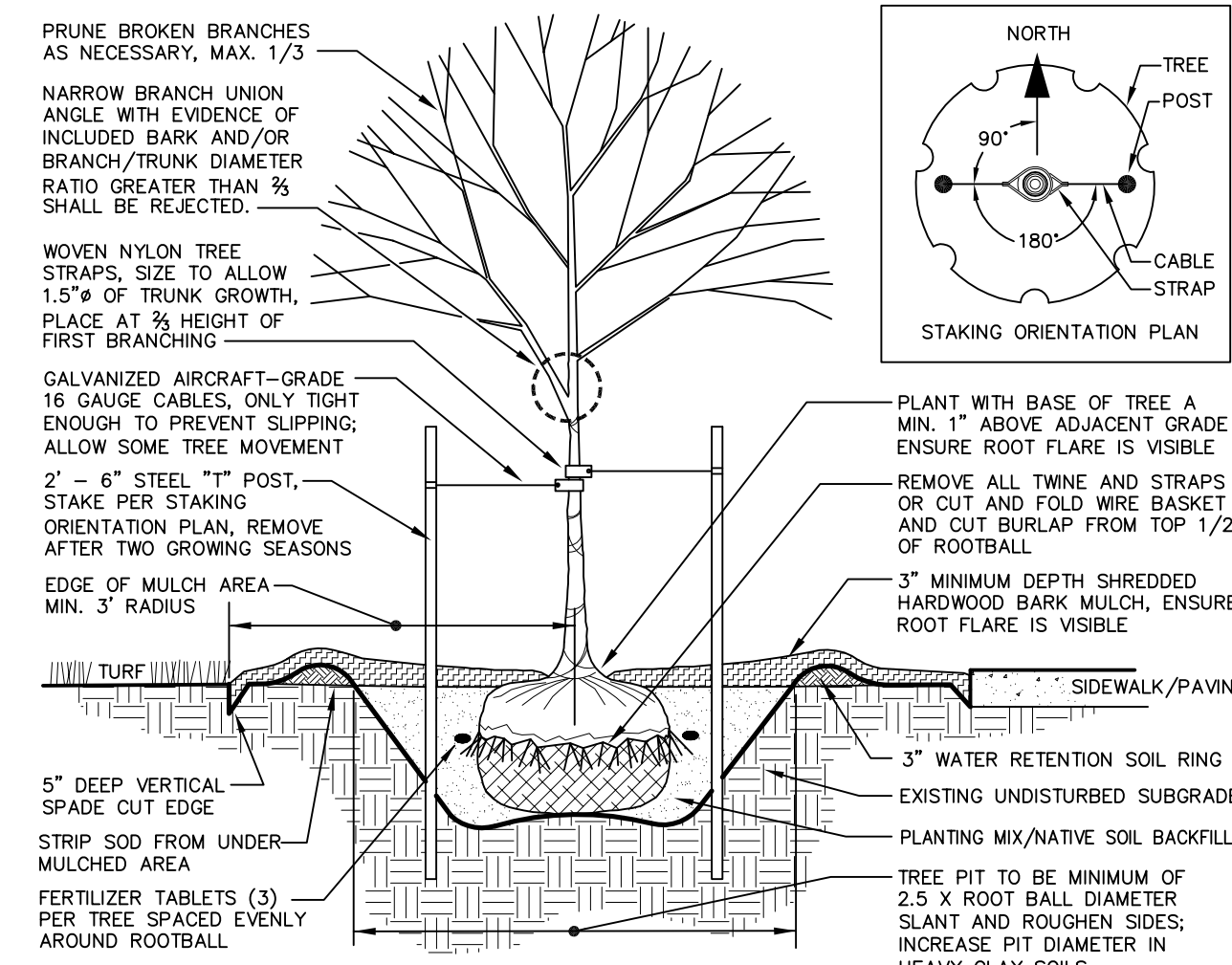
SHRUB PLANTING DETAIL (DECIDUOUS AND EVERGREEN)

N.T.S.



TYPICAL TREE PLANTING DETAIL

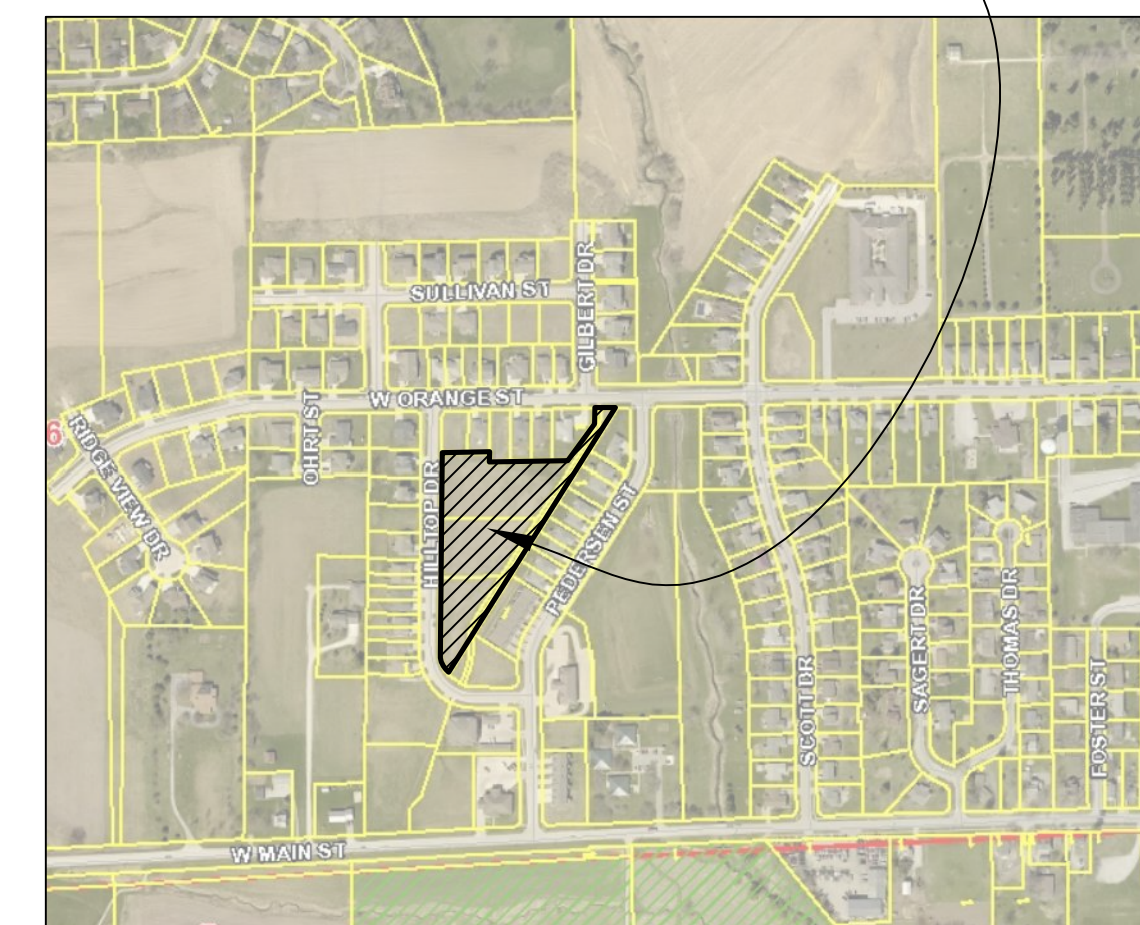
N.T.S.



LANDSCAPE NOTES:

- 1 - THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
- 2 - PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
- 3 - KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60 - 1990, OR MOST RECENT ADDITION.
- 4 - LAYOUT OF PLANT MATERIAL AT SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 5 - ALL PLANTING BED AREAS SHALL HAVE QUALITY TOPSOIL ADDED (IF NEEDED) BY LANDSCAPE CONTRACTOR TO BRING BED GRADES 2" - 4" BELOW EXISTING CONCRETE AREAS AND TOP OF DECORATIVE WALLS. (PRIOR TO BEDDING, CONTRACTOR IS RECOMMENDED TO VISIT SITE).
- 6 - FINISH GRADING OF PLANT BED AND SOD AREAS SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- 7 - ALL SHRUB AND PERENNIAL PLANTING AREAS SHALL HAVE A MINIMUM 3" DEEP BED OF DOUBLE SHREDDED HARDWOOD BARK MULCH AND AN APPLICATION OF A PRE-EMERGENT (PREVENT OR APPROVED EQUAL) FOR WEED CONTROL.
- 8 - LANDSCAPE EDGING BETWEEN BARK MULCH AND LAWN AREAS SHALL BE A SPADE CUT EDGE. EDGE SHALL BE INSTALLED VERTICAL AND ACCORDING TO DETAILS.
- 9 - STAKING SHALL BE REQUIRED ON ALL TREES (EXCEPT MULTI-STEM VARIETIES) STAKE USING (2) OR (3) 2" STEEL "T" POST PLACED OUTSIDE OF ROOTBALL AND ADHERED TO TRUNK OF TREE WITH 16 GAUGE CABLE AND WOVEN NYLON TREE STRAPS.
- 10 - ALL TREES FREE-STANDING IN LAWN AREAS AND IN PLANTING BEDS SHALL BE WRAPPED WITH A STANDARD MANUFACTURED TREE WRAP AND FASTENED WITH TWINE OR APPROVED METHOD.
- 11 - ALL TREES FREE-STANDING WITHIN LAWN AREAS SHALL HAVE A MINIMUM 4" DIA. RING OF DOUBLE SHREDDED HARDWOOD BARK MULCH AT A 3" INCH DEPTH.
- 12 - ALL LANDSCAPE PLANTINGS AND SOD AREAS SHALL BE THOROUGHLY WATERED UPON INSTALLATION AND A TOTAL OF (3) WATERINGS BEFORE INITIAL ACCEPTANCE. AFTER ACCEPTANCE, SOD SHALL BE MAINTAINED FOR (30) DAYS OR UNTIL ROOTED IN.
- 13 - LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON SHEETS DESCRIBING LANDSCAPE CONSTRUCTION TECHNIQUES.
- 14 - ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
- 15 - SEED ALL REMAINING AREAS WITH DOT URBAN MIX.

PEDERSEN VALLEY PART THREE - PHASE TWO, LOTS 41 & 42 AND PEDERSEN VALLEY PART FIVE, OUTLOT G WEST BRANCH, IOWA



LOCATION MAP

NOT TO SCALE

SITE LANDSCAPE PLAN

PEDERSEN VALLEY PART THREE - PHASE TWO, LOTS 41 & 42 AND PEDERSEN VALLEY PART FIVE, OUTLOT G WEST BRANCH CEDAR COUNTY IOWA

MMS CONSULTANTS, INC.	
Date:	12-16-16
Designed by:	BTM
Field Book No:	1161
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Scale:	1"=40'
Checked by:	BTM
Sheet No:	5
Project No:	IOWA CITY
10100002	of. 6

- 1) SANITARY SEWER & WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWORK URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL, CURRENT EDITION.
- 2) SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SDS 4010.2.01.E), AS NOTED ON THE PLANS. SANITARY SEWER SERVICE LINES SHALL BE PVC (SDR -23.5 WITH GASKETED JOINTS.
- 3) WATER MAINS SHALL BE PVC DR-18 PIPE, USE POLYETHYLENE ENCASEMENT FOR ALL DUCTILE IRON VALVES AND FITTINGS.
- 4) CONTRACTOR TO PROVIDE FERRO "BAND-SAL" COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
- 5) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 412.04.A WITH 1" MAXIMUM AGGREGATE SIZE, COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- 6) ALL SANITARY SEWERS SHADED ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN 5' OF PAVEMENT SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- 7) ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- 8) CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS.

ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED :

- 9) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
- 10) TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
- 11) THE END OF ALL SANITARY SEWER SERVICE MAINS MUST BE MARKED WITH A WOOD 2 x 4 PAINTED GREEN.
- 12) ALL SANITARY SEWER MANHOLES SHALL BE PROVIDED WITH CRETEX EXTERIOR CHIMNEY SEAL OR APPROVED EQUIV. ALL SANITARY SEWER MANHOLES IN PAVING OR OTHERWISE SUBJECT TO SURFACE WATER INUNDATION SHALL BE PROVIDED WITH CRETEX INTERNAL CHIMNEY SEAL OR APPROVED EQUIV.

13) ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:
NOTE: CITY REPRESENTATIVE MUST BE PRESENT DURING TESTING.

- A. PERFORM FROM MANHOLE-TO-MANHOLE AFTER:
 - 1. REMOVE ALL DEBRIS FROM MANHOLE.
 - 2. PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER.
 - 3. (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOCKING.
- B. INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 5 PSI & MAINTAIN FOR A MINIMUM OF 5 MINUTES.
- C. LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSIG.
- E. ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
- F. MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT.

G. IN AREAS WHERE GROUND WATER IS KNOWN TO EXIST, THE HEIGHT OF WATER ABOVE THE TOP OF THE PIPE BEING TESTED, IN FEET, SHALL BE DETERMINED AND THAT HEIGHT DIVIDED BY 2.3 TO ESTABLISH THE PRESSURE THAT WILL BE APPLIED TO THE PIPE. ALTERNATIVELY, THE ENGINEER MAY ALLOW THE CONTRACTOR TO MEASURE INFILTRATION INTO THE SEWER BY USING A V-METER OR OTHER SUITABLE DEVICE.

H. LOCATE, REPAIR AND RETEST LEAKS.

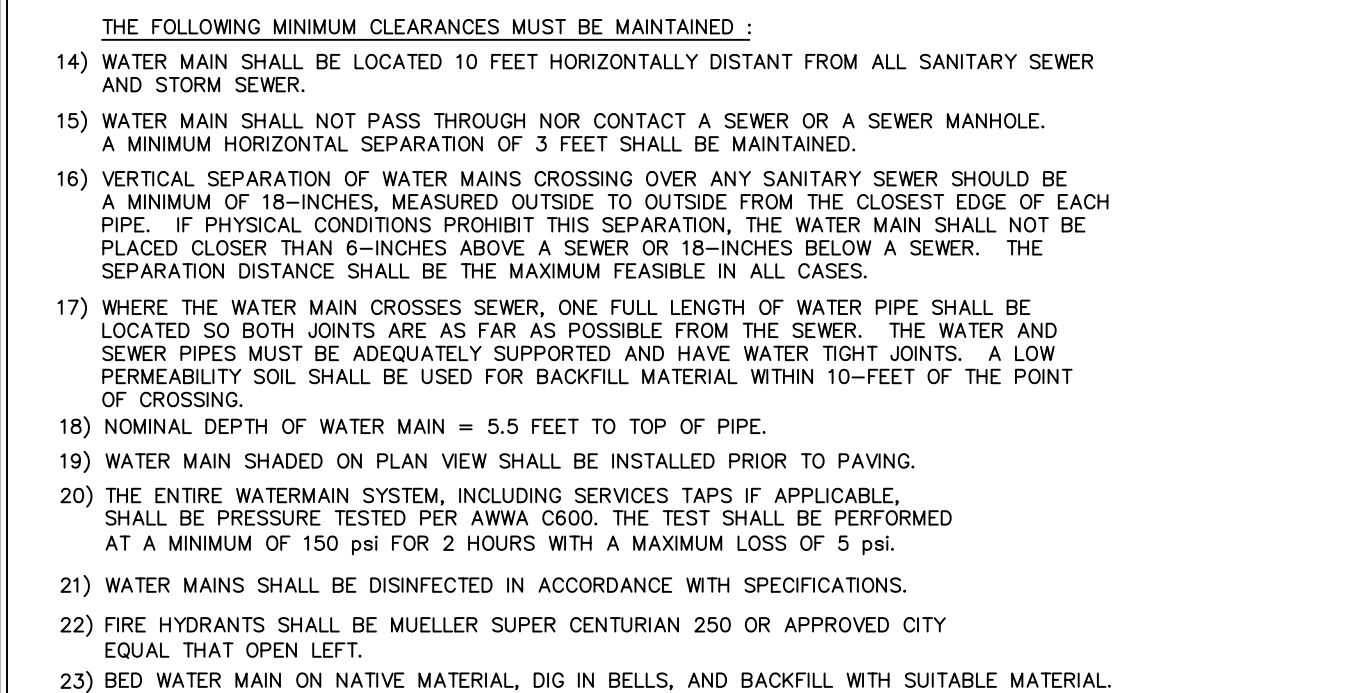
I. AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.

J. ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:

1) DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.

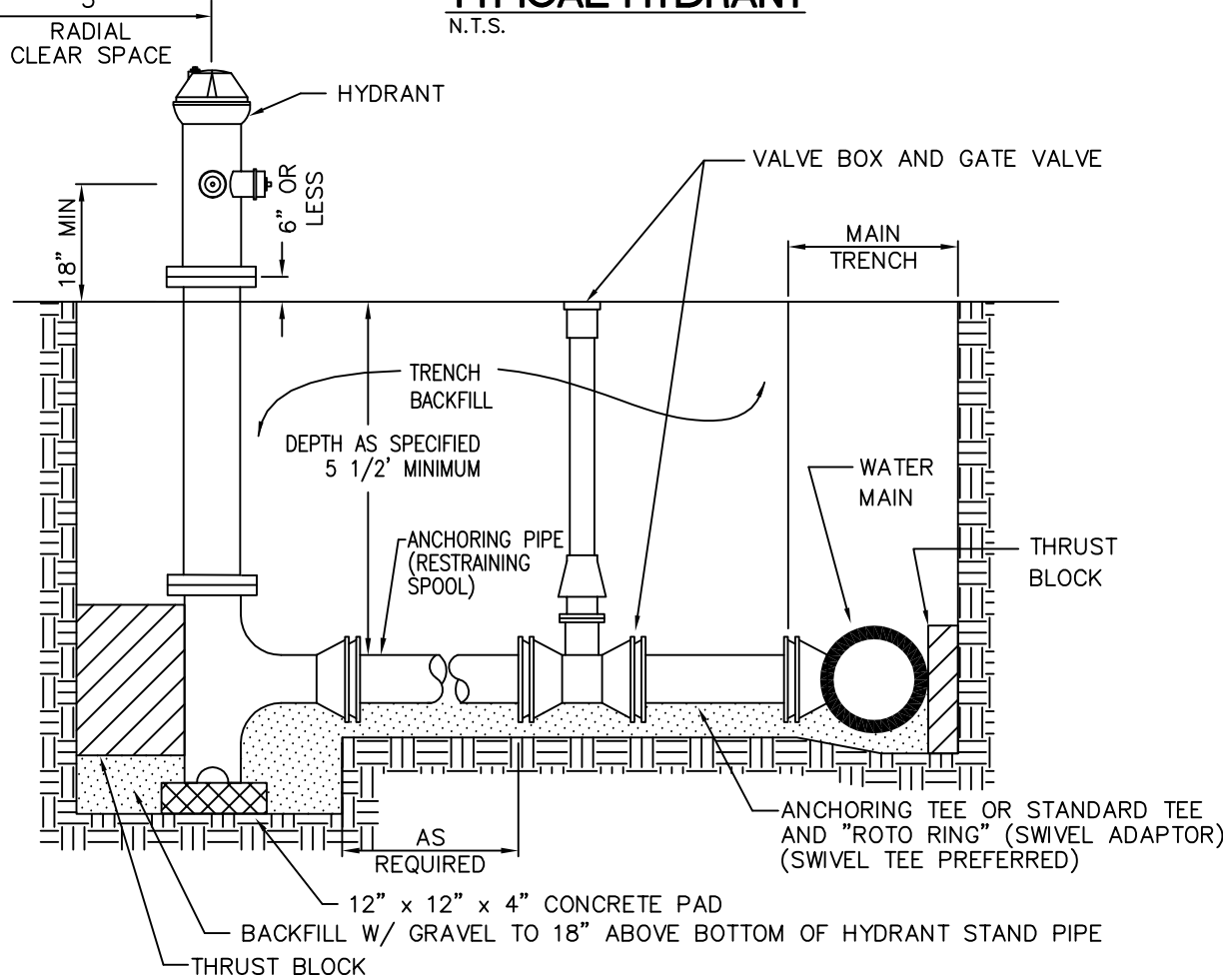
2) DEFLECTION TEST TO BE CONDUCTED USING A RIGID BAR OR MANDELUM WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING DEVICES ALLOWED.

C) NO PIPE SHALL EXCEED A DEFLECTION OF 5%.

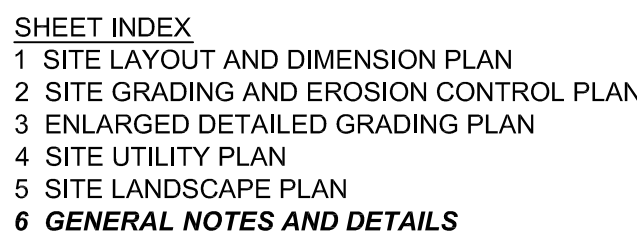
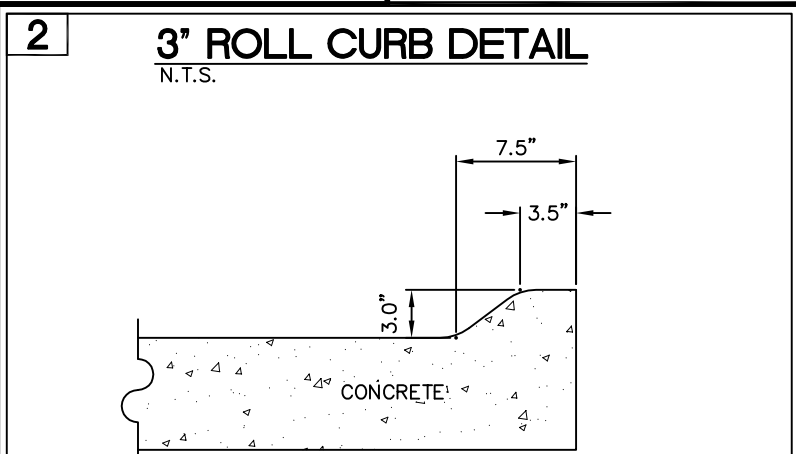


- 1) STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWORKING DESIGN AND SPECIFICATIONS (SUDAS) MANUAL, CURRENT EDITION AND CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES, CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- 2) ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- 3) AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- 4) ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "R-2" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- 5) STORM SEWERS SHADED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- 6) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 412.00.4 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- 7) ALL REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SUDAS SPECIFICATION 402.02.1, A WITH THE FOLLOWING ADDITIONAL RESTRICTIONS: ALL RCP JOINTS FOR 36" AND SMALLER PIPE SHALL HAVE A TONGUE AND GROOVE JOINTS INCORPORATING RUBBER "O"-RING OR PROFILE GASKETS COMPLYING WITH ASTM C443 OR SHALL BE TONGUE AND GROOVE WITH ALL JOINTS WRAPPED WITH FILTER FABRIC A MINIMUM OF 24" WIDE.
- 8) ALL PIPE SHALL BE CERTIFIED.
- 9) ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- 10) LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- 11) PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

1. PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
2. BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
3. PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.
4. BACK FILL AND BEDDING SHALL BE PLACED AS SPECIFIED IN CONTRACT DOCUMENTS.
5. SEE IDOT STANDARD ROAD PLAN SW-102 FOR ADDITIONAL TRENCH BEDDING INFORMATION.



- 1) I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- 2) PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL, CURRENT EDITION AND CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES. CITY OF WEST BRANCH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- 3) PAVEMENT JOINTS SHALL CONFORM TO SUDAS SPECIFICATION SECTION 7010.3.02, J AND K.
 - A. INSTALL LONGITUDINAL JOINTS AT THE THIRD POINTS OF THE STREET. INSTALL TRANSVERSE JOINTS AT 15' MINIMUM SPACING AND EVENLY SPACED BETWEEN OBJECTS IN THE PAVEMENT AND INTERSECTIONS.
 - B. WHERE PAIRS OF INTAKES ARE LOCATED DIRECTLY ACROSS FROM EACH OTHER OR SLIGHTLY SKEWED, INSTALL TRANSVERSE JOINTS BETWEEN CORNERS OF THE THROAT INTAKES AND DIRECTLY ABOVE THE CROSSING STORM SEWER PIPE.
- 4) THE CONCRETE AGGREGATE SHALL BE CLASS 31 DURABILITY AS SPECIFIED IN SECTION 4115.04.B3 OF THE I.D.O.T. STANDARD SPECIFICATIONS.





Adair

Traffic Rail: Barrier

Handrail: Steel Pipe (not painted)

Sidewalk Rail: Chain Link Fence (no vinyl coating)

Lights: NA – No Lights Mounted on the Bridge



Corning

Traffic Rail: Open

Handrail: Steel Pipe (painted/coated)

Sidewalk Rail: Chain Link Fence (vinyl coating)

Lights: NA – No Lights Mounted on the Bridge



Conrad

Traffic Rail: Texas Rail (standard concrete, no color)

Handrail: Single Rail (standard)

Sidewalk Rail: Standard Rail with Balusters

Lights: Standard Single – Mounted on Traffic Rail Pilasters (left) and on Sidewalk Rail Pilasters (right)



Coon Rapids

Traffic Rail: Texas Rail (standard concrete, no color)

Handrail: Double Rail with Balusters

Sidewalk Rail: Standard Rail with Balusters

Lights: Standard Single – Mounted on Traffic Rail Pilasters



Carlisle

Traffic Rail: Texas Rail (with colored concrete sealer)

Handrail: Double Rail with Balusters

Sidewalk Rail: Standard Rail with Balusters

Lights: Standard Single – Mounted on Traffic Rail Pilasters



Arnolds Park

Traffic Rail: Texas Rail (with colored concrete sealer)

Handrail: Arcing Rail

Sidewalk Rail: Arcing Rail with Balusters

Lights: Pole with 2 fixtures – Mounted on Large Stone Faced Pilasters at Corners



Arnolds Park

Traffic Rail: Texas Rail (with colored concrete sealer)

Handrail: Arcing Rail

Sidewalk Rail: Arcing Rail with Balusters

Lights: Pole with 2 fixtures – Mounted on Large Stone Faced Pilasters at Corners



Centerville

Traffic Rail: Texas Rail (with colored concrete sealer)

Handrail: Single Rail (standard, note green color)

Sidewalk Rail: Standard Rail with Balusters (standard green color)

Lights: Standard Single – Mounted on Sidewalk Rail Pilasters (note green light poles)



Rockford

Traffic Rail: Texas Rail (with colored concrete sealer)

Handrail: Single Rail (standard)

Sidewalk Rail: Standard Rail with Balusters

Lights: Single at Ends with Triple at Center – Mounted on Sidewalk Rail Pilasters



Sioux City – Hamilton Blvd.

Traffic Rail: Stone Stamped Barrier Rail

Handrail: Single Rail (side mounted)

Sidewalk Rail: Double Rail with Balusters

Lights: NA – No Lights Mounted on the Bridge



Sioux City – King's Hwy.

Traffic Rail: Stone Stamped Barrier Rail

Handrail: Single Rail (side mounted)

Sidewalk Rail: Double Rail with Balusters

Lights: NA – No Lights Mounted on the Bridge



Sioux City – 38th St.

Traffic Rail: Brick Veneer Barrier Rail

Handrail: Single Rail (top mounted)

Sidewalk Rail: Double Rail with Balusters

Lights: Fixtures Mounted on Custom Pilasters at Corners



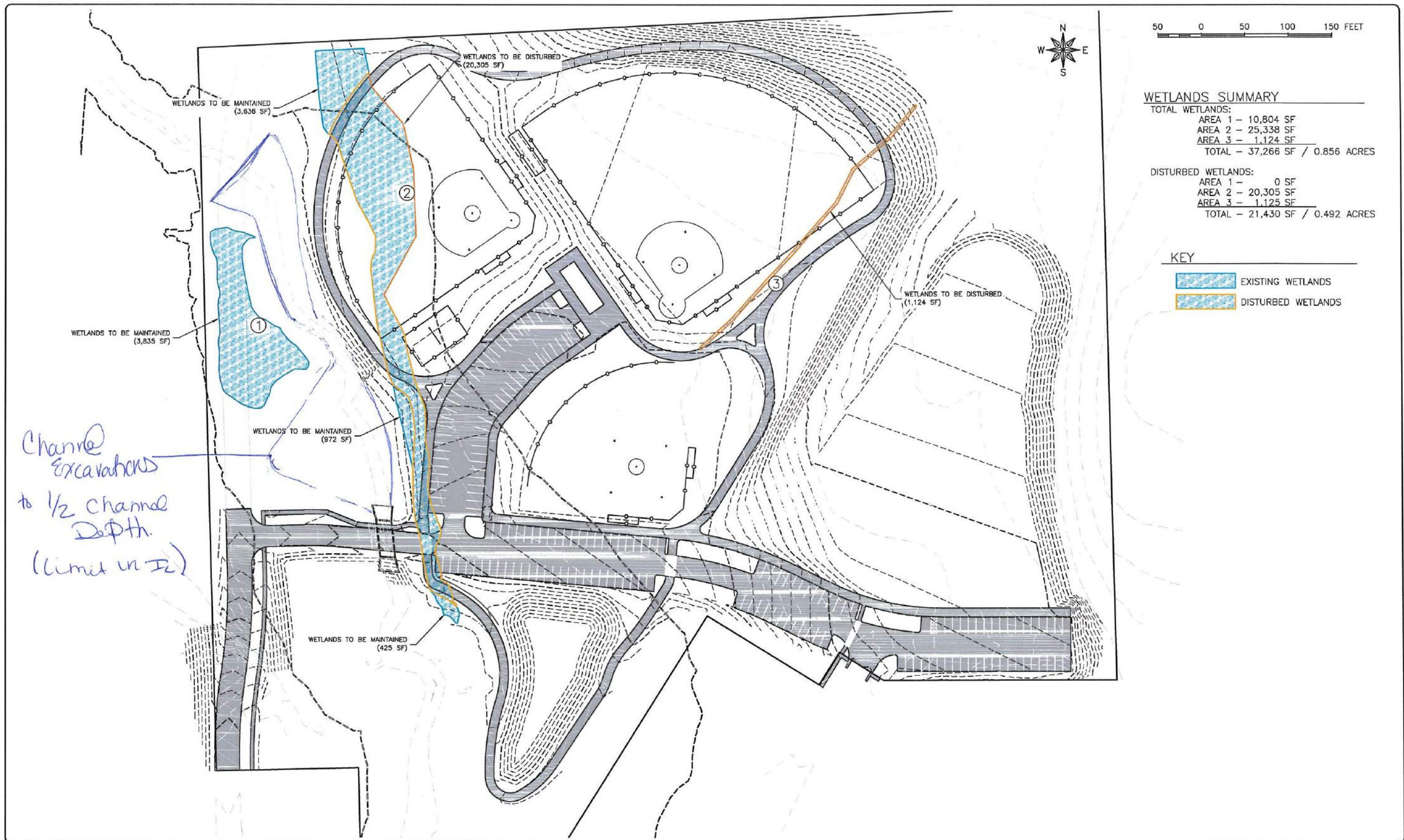
Sioux City – 38th St.

Traffic Rail: Brick Veneer Barrier Rail

Handrail: Single Rail (top mounted)

Sidewalk Rail: Double Rail with Balusters

Lights: Fixtures Mounted on Custom Pilasters at Corners



FEHR GRAHAM
ENGINEERING & ENVIRONMENTAL

ILLINOIS
IOWA
WISCONSIN

OWNER/DEVELOPER:
CITY OF WEST BRANCH
101 N POPLAR STREET
WEST BRANCH, IOWA 52358

PROJECT AND LOCATION:
PETERSEN VALLEY PARK
WEST BRANCH, IOWA

DRAWN BY: AJB
APPROVED BY: NPK
DATE: DEC 14, 16
SCALE: AS NOTED

REVISIONS		
REV. NO.	DESCRIPTION	DATE

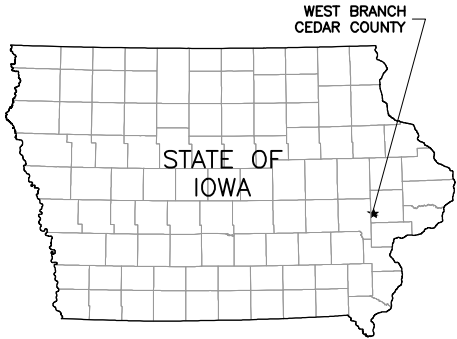
DRAWING:
PETERSEN PARK
WETLANDS EXHIBIT

JOB NUMBER:
16-072

SHEET NUMBER:
1 OF 1

PEDERSEN VALLEY
PARK IMPROVEMENTS –
PHASE 1
FOR
CITY OF WEST BRANCH
WEST BRANCH, IOWA

16-072



This project is covered by Iowa DNR NPDES General Permit No. 2. The contractor shall carry out the terms and conditions of General Permit No. 2. and the Storm Water Pollution Prevention Plan which is a part of these contract documents.

The 2016 Version of the Urban Standard Specifications for Public Improvements, also known as SUDAS (2016), plus Fehr Graham Supplemental Specifications and Special Provisions shall apply to construction work on this project.



CHECK

CITY OF WEST BRANCH, IOWA

THIS ENGINEERING DOCUMENT HAS BEEN REVIEWED BY THE JURISDICTION
AND IS RECOMMENDED FOR FILING WITH THE CITY CLERK

CITY ADMINISTRATOR

DATE



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Nathan P. Kass, P.E. & P.L.S. Date
License Number 18659
My license renewal date is December 31, 2017.
Pages or sheets covered by this seal: All

ORIGINAL SET FOR PROJECT: 16-072 DATE CREATED: 3/17/2017

REVISIONS		
REV. NO.	DESCRIPTION	DATE

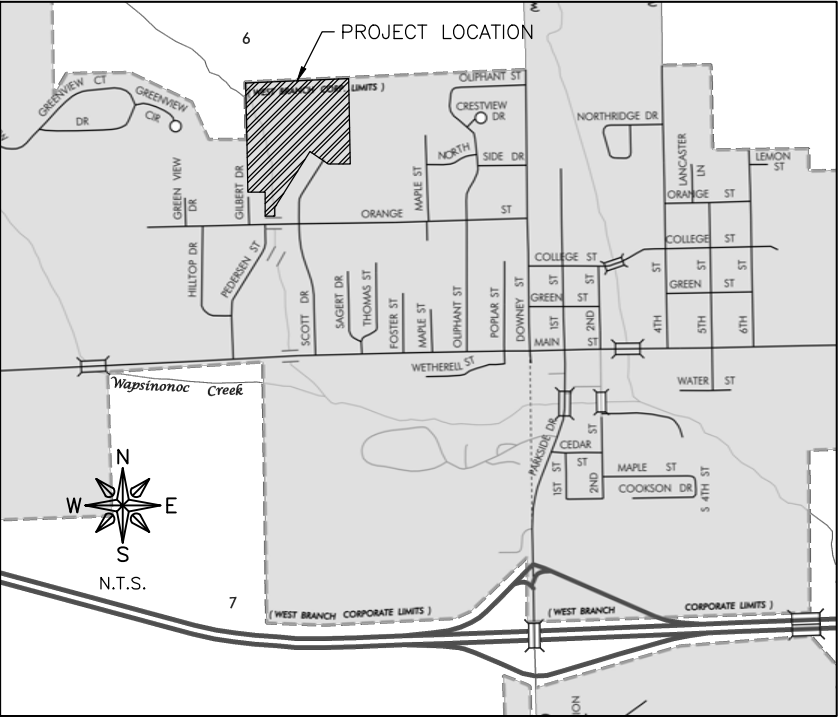
Sheet List Table	
Sheet Number	Sheet Title
A.01	Title
A.02	Legend
B.01	Typical Sections
A.03	Site Map
C.01	Estimated Quantities, General Notes, And Supplemental Specs.
C.02	PIPELINE REQUIREMENTS AND INFORMATION
C.03	SWPPP
C.04	SWPPP MAP – INITIAL MASS GRADING AND UTILITIES
C.05	SWPPP MAP – PAVING AND FINAL
D.01	MAIN DRIVE AND PARKING PLAN AND PROFILE
D.02	MAIN DRIVE AND PARKING PLAN AND PROFILE
D.03	ACCESSORY DRIVE AND PARKING PLAN AND PROFILE
L.01	INTERSECTION PLANS
H.01	GRADING SITE MAP
H.02	SITE GRADING
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H.04	SITE GRADING
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M.01	STORM SEWER PLAN & PROFILE
M.02	STORM SEWER PLAN & PROFILE
M.03	STORM SEWER PLAN & PROFILE
M.04	STORM SEWER PLAN & PROFILE
M.05	STORM SEWER PLAN & PROFILE
MS.01	SANITARY SEWER PLAN & PROFILE
MS.02	SANITARY SEWER PLAN & PROFILE
MS.REF	SANITARY SEWER REFERENCE SHEET
MW.01	WATER MAIN PLAN & PROFILE
MW.02	WATER MAIN PLAN & PROFILE
MW.03	WATER MAIN PLAN & PROFILE

OWNER/DEV	CITY OF WEST BRANCH
ADDRESS	110 N Poplar Street
	PO BOX 218
	West Branch, Iowa 52358
P#	319.643.5888
F#	319.643.2305

CITY ADMINISTRATION	
Mayor.....	Roger Laughlin
Council Members.....	Jordan M. Ellyson
	Colton Miller
	Mary Beth Stevenson
	Tim Shields
	Brian Pierce
City Administrator.....	Matt Muckler
City Clerk.....	Matt Muckler

UTILITY INFO. – CITY OF WEST BRANCH, IA		
UTILITY TYPE	COMMON NAME	
ELECTRIC	ALLIANT ENERGY	
TELEPHONE	MEDIACOM	
GAS	ALLIANT ENERGY	
CABLE	MEDIACOM	
PIPELINE	ENTERPRISE PRODUCTS	BRIAN MUELLER
	KINDER MORGAN	DAVID LENSING

(CONTRACTOR TO BE RESPONSIBLE FOR ANY
ADJUSTMENTS TO BE MADE.)



LOCATION MAP

FEHR GRAHAM
ENGINEERING & ENVIRONMENTAL

ILLINOIS IOWA WISCONSIN

CEDAR RAPIDS, IOWA
375 COLLINS ROAD NE, SUITE 105
CEDAR RAPIDS, IA 52402
P# (319) 294-6909
F# (319) 294-5133

ABBREVIATIONS		SYMBOLS	
<div><div><ABCACIACRAGSCALTARCHASPHASTMBOTBSMTBV</div><div>B-BCL or CLC to CC & GCFCHDGICLKCHKCLR CMPCMUCTYCONCCONTC-BCOORDCUCSTRSCYCSDEPDETDIAGDIMDIDNIDNSTRDPDWGEJEL, ELEV EP EQUIPEQUIVEWEXP EX, EXISTEXT</div><div>E =FD</div><div>FDNFEFF</div><div>FILFINFLFLR</div><div>FMFNDFRMGFTGF-FGAGI</div><div>GRDGRSGRTGV</div><div>GYPGSEHCHHMAHNGRHORIZH.P.HWH</div><div>Δ =I</div><div>IDINTINVIPJST</div><div>LATLAVLFL.P.LT</div><div>MAXMEMHMINMJ</div><div>MTLN</div><div>No. OR #NTS</div><div>OCOD</div><div>OPNGOPP</div><div>PCPCCPCFPDP</div></div> <div><div>ANGLEAGGREGATE BASE COURSEACRE(S)AMERICAN CONCRETE INSTITUTEAGGREGATEAMERICAN INSTITUTE OF STEEL CONSTRUCTIONALTERNATEARCHITECTASPHALTAMERICAN SOCIETY OF TESTING AND MATERIALSBALL VALVEBACKFLOW PREVENTERBITUMINOUSBUILDINGBLOCKINGBENCHMARKBOTTOMBASEMENTBUTTERFLY VALVEBACK-TO-BACK OF CURB DIMENSIONCENTERLINECENTER TO CENTERCURB AND GUTTERCUBIC FEETCHORD LENGTHCAST IRON PIPECHECK VALVECLEARCORRUGATED METAL PIPECONCRETE MASONRY UNITCOUNTYCONCRETECONTINUOUSCENTERLINE TO BACK OF CURB DIMENSIONCOORDINATECOPPER PIPINGCENTERSCUBIC YARDSCORPORATION STOPDEGREE OF CURVEDEPRESSEDDETAILDIAGONALDIMENSIONDUCTILE IRON PIPEDOWNDOWNSTREAMDRAINAGE PIPE/STORM PIPEDRAWINGEASTEXPANSION JOINT ELEVATIONEDGE OF PAVEMENTEQUIPMENTEQUIVALENT EACH WAYEXPANSIONEXISTINGEXTERIOR EXTERNAL DISTANCEFLOOR DRAINFOUNDATIONFIELD ENTRANCEFINISH FLOORFILLETFINISHFLOW LINEFLOORFORCE MAINFOUNDVPIFRAMINGFOOTINGFACE TO FACEGAUGE GALVANIZED IRON PIPEGRADEGRATING SUPPORTGROUTGAS VALVEGYPSUMHOUSEHORIZONTAL CURVEHOT MIX ASPHALTHANGERHORIZONTALHIGH POINTHOT WATERHOT WATER HEATERCENTRAL ANGLEMOMENT OF INERTIAINSIDE DIAMETERINTERIORINVERT ELEVATION; BASED ON BENCH MARK DATUMIRON PIPEJOISTLENGTH OF CURVELATERALLAVATORYLINEAL FEETLOW POINTLEFT OF SURVEY BASE LINEMAXIMUMMATCH EXISTINGMANHOLEMINIMUMMECHANICAL JOINTMETALNORTHNUMBERNOMINALNOT TO SCALEON CENTEROUTSIDE DIAMETEROUTSIDE TO OUTSIDEOPENINGOPPOSITEPOINT OF CURVATUREPORTLAND CEMENT CONCRETEPOUNDS PER CUBIC FOOTPERFORATED DRAIN PIPE</div></div>	<div><div>PEPIPLGPPPLTWDPMPRPCRPRESSPR, PROPPRVPSFPPSIPSLPTPLGPVCR</div><div>RDCRRCCPPRCPRDRDREINFRREQDROWRFRNRNDRRRRSPRT</div><div>R&RSBSCHEDSECSEFSHRSHTSHTGSHTGSPSPASPEC</div><div>SQSSSTASTDSTLSTRUCTSWSY</div><div>TANTBCTBMTDT</div><div>THKTRTY</div><div>TYP</div><div>U.O.N.</div><div>UPUPSTRUR</div><div>USGSVC</div><div>VCPVERTVOL</div><div>VPCVPIVPRC</div><div>VPTW</div><div>WCWFWMWMQWVWGTWPWSWWFW/OXP</div><div>POLYETHYLENE PIPEPOINT OF INTERSECTIONPLATEPLUG VALVEPOLYPROPYLENE PIPEPLYWOODPRINCIPAL MERIDIANPRESSURE REGULATORSPOINT OF REVERSE CURVATUREPRESSUREPRESSURE REDUCING VALVEPOUNDS PER SQUARE FOOTPOUNDS PER SQUARE INCHPIPE SLEEVEPOINT OF TANGENCYPLUG VALVEPOLYVINYL CHLORIDE (PLASTIC) PIPERADIUSREDUCERREINFORCED CONCRETE CYLINDER PIPEREINFORCED CONCRETE PIEROOF DRAINREINFORCINGREQUIREDRIGHT OF WAYRAFTERROUNDRAILROADRAILROAD SPIKE RIGHTREMOVE AND REPLACE SOUTHSTREAM BEDSCHEDULESECTIONSQUARE FEETSHOWERSHEET SHEATHINGSANITARY PIPESpacing OR SPACESSPECIFICATIONSQUARESTATIONSTANDARDSTEELSTRUCTURALSIDEWALKSQUARE YARDS SYMMETRICALTANGENT LENGHTTOP BACK OF CURBTIMPORARY BENCH MARK; BASED ON BENCHMARK DATUMTHICKTREADTYPE TYPICALUNLESS OTHERWISE NOTEDUPPER POLEUPSTREAMURINALUS GEOLOGICAL SURVEYVERTICAL CURVEVITRIFIED CLAY PIPEVERTICALVOLUMEPOINT OF CURVATUREVERTICAL POINT OF INTERSECTIONVERTICAL POINT OF REVERSE CURVATUREVERTICAL POINT OF TANGENCYWESTWATER CLOSETWIDE FLANGEWATER MAINWATER MAIN QUALITYWATER VALVEWEIGHTWEATHER PROOFWATER SERVICEWELDED WIRE FABRICWITHWITHOUTEXPLOSION PROOF</div></div> <div><div>HATCH PATTERNS</div><div><div><div><div></div><div>EARTH - FILL</div></div><div><div></div><div>EARTH - UNDISTURBED</div></div><div><div></div><div>ROCK (GEOLOGICAL)</div></div><div><div></div><div>STONE OR RIP RAP</div></div><div><div></div><div>GRAVEL</div></div><div><div></div><div>CONCRETE</div></div><div><div></div><div>CONCRETE BLOCK</div></div><div><div></div><div>CMU</div></div><div><div></div><div>ASPHALT PAVEMENT</div></div><div><div></div><div>BRICK</div></div><div><div></div><div>STEEL</div></div><div><div></div><div>INSULATION (LOOSE/ BATT)</div></div><div><div></div><div>INSULATION (RIGID)</div></div><div><div></div><div>WOOD (ROUGH)</div></div><div><div></div><div>WOOD (BLOCKING)</div></div><div><div></div><div>WOOD (FINISH)</div></div><div><div></div><div>DETECTABLE WARNING</div></div></div></div></div>	<div><div>EXISTING</div><div>CIVIL</div><div>PROPOSED</div></div> <div><div>EXISTING R.O.W.</div><div>RIGHT-OF-WAY LINE</div><div>PROPOSED R.O.W.</div></div> <div><div></div><div>PROPERTY LINE</div><div></div></div> <div><div></div><div>CENTERLINE</div><div></div></div> <div><div></div><div>SETBACK LINE</div><div></div></div> <div><div></div><div>EASEMENT LINE</div><div></div></div> <div><div></div><div>SECTION LINE</div><div></div></div> <div><div></div><div>SECTION CORNER</div><div></div></div> <div><div><div><div><div></div><div>N 1000.00</div><div>E 1000.00</div></div></div><div>COORDINATE POINT ON GRID SYSTEM</div></div><div><div><div><div></div><div>FND</div></div><div>FOUND OR SET PROPERTY PIN</div></div><div><div><div><div></div><div>SET</div></div><div></div></div></div><div><div><div><div></div><div>RIGHT-OF-WAY MARKER</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>BENCHMARK</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>CONTOUR LINE</div></div><div><div><div><div></div><div>600</div></div></div></div><div><div><div><div></div><div>SPOT ELEVATION (AT ●)</div></div><div><div><div><div></div><div>600.00 FG</div></div></div></div><div><div><div><div></div><div>FENCE LINE</div></div><div><div><div><div></div><div>X</div></div></div></div><div><div><div><div></div><div>SILT FENCE LINE</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>CURB AND GUTTER</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>TIP OUT CURB AND GUTTER</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>SAWCUT, LIMITS OF PAVEMENT REMOVAL & REPLACEMENT</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>DECIDUOUS TREE W/ SIZE</div></div><div><div><div><div></div><div>X"</div></div></div></div><div><div><div><div></div><div>CONIFEROUS TREE W/ SIZE</div></div><div><div><div><div></div><div>X"</div></div></div></div><div><div><div><div></div><div>TREE STUMP</div></div><div><div><div><div></div><div>X"</div></div></div></div><div><div><div><div></div><div>HEDGEROW</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>BUSH OR SHRUB</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>TREE LINE</div></div><div><div><div><div></div><div>CL</div></div></div></div><div><div><div><div></div><div>CONSTRUCTION LIMIT LINE</div></div><div><div><div><div></div><div>CL</div></div></div></div><div><div><div><div></div><div>SIGN (MULTIPLE POST, SINGLE POST)</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>SIGN (PYLON)</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>GUARD RAIL</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>RAILROAD TRACKS</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>BUILDING</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>MAILBOX</div></div><div><div><div><div></div><div>B</div></div></div></div><div><div><div><div></div><div>FLAGPOLE</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>BOLLARD</div></div><div><div><div><div></div><div></div></div></div></div><div><div><div><div></div><div>AIR CONDITIONER</div></div><div><div><div><div></div><div></div></div></div></div></div></div><div><div>EXISTING</div><div>MISC</div><div>PROPOSED</div></div><div><div>S.B. #XX</div><div>SOIL BORING LOCATION AND NUMBER</div><div>S.B. #XX</div></div><div><div>MW #XX</div><div>MONITORING WELL</div><div>MW #XX</div></div><div><div></div><div>REVISION NUMBER</div><div></div></div><div><div></div><div>OUTLINE OF DETAILED AREA</div><div></div></div><div><div></div><div>SECTION NUMBER</div><div></div></div><div><div></div><div>SHEET WHERE SHOWN</div><div></div></div><div><div>EXISTING</div><div>SANITARY SEWER</div><div>PROPOSED</div></div><div><div>SAN ></div><div>SANITARY SEWER</div><div>SAN ></div></div><div><div>SSV ></div><div>SANITARY SEWER SERVICE</div><div>SSV ></div></div><div><div><FM</div><div>SANITARY SEWER FORCE MAIN</div><div><FM</div></div><div><div></div><div>SANITARY CLEANOUT</div><div>CO ●</div></div><div><div></div><div>SANITARY MANHOLE</div><div></div></div><div><div></div><div>WYE FITTING</div><div></div></div></div><div><div>EXISTING</div><div>WATER</div><div>PROPOSED</div></div><div><div>WSV</div><div>WATER SERVICE</div><div>WSV</div></div><div><div>W</div><div>WATER PIPE</div><div>W</div></div><div><div></div><div>FIRE HYDRANT</div><div></div></div><div><div></div><div>YARD HYDRANT</div><div></div></div><div><div></div><div>WATER VALVE WITH BOX</div><div></div></div><div><div></div><div>CURB STOP W/CURB BOX</div><div></div></div><div><div></div><div>REDUCER</div><div></div></div><div><div></div><div>WATER VALVE VAULT</div><div></div></div><div><div></div><div>11.25' BEND</div><div></div></div><div><div></div><div>22.50' BEND</div><div></div></div><div><div></div><div>45' BEND</div><div></div></div><div><div></div><div>90' BEND</div><div></div></div><div><div></div><div>TEE</div><div></div></div><div><div></div><div>CAP</div><div></div></div><div><div></div><div>WATER METER</div><div></div></div><div><div></div><div>SPRINKLER HEAD</div><div></div></div><div><div></div><div>TRACER WIRE BOX</div><div></div></div><div><div>EXISTING</div><div>STORM SEWER</div><div>PROPOSED</div></div><div><div>ST ></div><div>STORM SEWER</div><div>ST ></div></div><div><div>DT ></div><div>DRAIN TILE</div><div>DT ></div></div><div><div></div><div>DITCH LINE (PAVED)</div><div></div></div><div><div></div><div>DITCH LINE (UNPAVED)</div><div></div></div><div><div></div><div>STORM MANHOLE</div><div></div></div><div><div></div><div>CATCH BASIN</div><div></div></div><div><div></div><div>STORM SEWER INLET</div><div></div></div><div><div></div><div>STORM SEWER INLET - BEHIND CURB</div><div></div></div><div><div></div><div>DOWNSPOUT</div><div></div></div><div><div>X" TYPE</div><div>CULVERT AND SIZE</div><div>X" TYPE</div></div><div><div></div><div>RCCP OR RCP EQRS (RCAP) END SECTION</div><div></div></div><div><div></div><div>METAL OR HDPE END SECTION</div><div></div></div><div><div></div><div>FLOW DIRECTION</div><div></div></div><div><div>EXISTING</div><div>EROSION CONTROL</div><div>PROPOSED</div></div><div><div></div><div>EROSION CONTROL BLANKET</div><div></div></div><div><div></div><div>TEMPORARY AND PERMANENT SEEDING AREA</div><div></div></div><div><div></div><div>UNDISTURBED AREA</div><div></div></div><div><div></div><div>STABILIZED CONSTRUCTION ENTRANCE</div><div></div></div><div><div></div><div>SILT FENCE</div><div></div></div><div><div></div><div>INLET PROTECTION</div><div></div></div><div><div></div><div>TEMPORARY SEDIMENT TRAP</div><div></div></div><div><div></div><div>CULVERT INLET PROTECTION</div><div></div></div><div><div></div><div>ROCK OUTLET PROTECTION</div><div></div></div><div><div></div><div>ROCK CHECK DAM - COURSE AGGREGATE</div><div></div></div><div><div></div><div>ROCK CHECK DAM - RIP RAP</div><div></div></div><div><div></div><div>DITCH CHECK</div><div></div></div></div><div><div>EXISTING</div><div>UTILITY</div><div>PROPOSED</div></div><div><div>FO</div><div>FIBER OPTIC LINE</div><div>FO</div></div><div><div>TV</div><div>UNDERGROUND TV CABLE</div><div>TV</div></div><div><div></div><div>CABLE TV RISER PEDESTAL</div><div></div></div><div><div>OU</div><div>OVERHEAD UTILITY</div><div>OU</div></div><div><div>UE</div><div>UNDERGROUND ELECTRIC</div><div>UE</div></div><div><div></div><div>ELECTRIC RISER PEDESTAL</div><div></div></div><div><div></div><div>ELECTRIC MANHOLE</div><div></div></div><div><div>T</div><div>UNDERGROUND TELEPHONE</div><div>T</div></div><div><div></div><div>TELEPHONE RISER PEDESTAL</div><div></div></div><div><div></div><div>TELEPHONE MANHOLE</div><div></div></div><div><div></div><div>UTILITY POLE</div><div></div></div><div><div></div><div>UTILITY POLE W/ METER</div><div></div></div><div><div></div><div>UTILITY POLE W/ TRANSFORMER</div><div></div></div><div><div></div><div>UTILITY POLE W/ LIGHT</div><div></div></div><div><div></div><div>UTILITY POLE WITH GUY WIRE AND ANCHOR</div><div></div></div><div><div></div><div>LIGHT (MAST MOUNTED)</div><div></div></div><div><div></div><div>LIGHT POLE (SINGLE FIXTURE)</div><div></div></div><div><div></div><div>YARD LIGHT</div><div></div></div><div><div>G</div><div>GAS MAIN</div><div>G</div></div><div><div></div><div>GAS METER</div><div></div></div><div><div></div><div>GAS VALVE</div><div></div></div><div><div></div><div>GAS STRUCTURE</div><div></div></div><div><div>EXISTING</div><div>TRAFFIC RELATED</div><div>PROPOSED</div></div><div><div></div><div>CONTROLLER</div><div></div></div><div><div></div><div>MAST ARM ASSEMBLY AND POLE</div><div></div></div><div><div></div><div>SIGNAL HEAD AND POST</div><div></div></div><div><div></div><div>SIGNAL HEAD</div><div></div></div><div><div></div><div>PEDESTRIAN HEAD</div><div></div></div><div><div></div><div>PEDESTRIAN PUSH-BUTTON</div><div></div></div><div><div></div><div>HAND HOLE</div><div></div></div><div><div></div><div>DOUBLE HAND HOLE</div><div></div></div><div><div></div><div>HAND HOLE OR JUNCTION BOX</div><div></div></div><div><div></div><div>HEAVY-DUTY HAND HOLE</div><div></div></div><div><div>(5' - 2')</div><div>EXISTING CONDUIT (LENGTH AND SIZE) PROP GALVANIZED STEEL OR PVC CONDUIT UPPER MATERIAL INDICATES LENGTH "T" INDICATES CONDUIT IN TRENCH "P" INDICATED CONDUIT PUSHED LOWER NUMERAL INDICATES SIZE AND TYPE</div><div>5' - T 2" GS-PVC</div></div><div><div></div><div>LUMINAIRE</div><div></div></div><div><div></div><div>ARROW - THROUGH, TURN LEFT</div><div></div></div><div><div></div><div>ARROW - THROUGH</div><div></div></div><div><div></div><div>ARROW - TURN LEFT</div><div></div></div><div><div></div><div>ARROW - TURN RIGHT</div><div></div></div><div><div>ONLY</div><div>ONE DIRECTION TURN ONLY</div><div></div></div><div><div></div><div>HANDICAPPED PARKING STALL</div><div></div></div><div><div></div><div>TRAFFIC DETECTOR LOOP</div><div></div></div><div><div></div><div>TRAFFIC CONTROL BOX</div><div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div>	

FEHR GRAHAM

ENGINEERING & ENVIRONMENTAL

ILLINOIS DESIGN FIRM NO. 184-003525

ILLINOIS

IOWA

WISCONSIN

OWNER/DEVELOPER:

CITY OF WEST BRANCH
110 NORTH POPLAR STREET
WEST BRANCH, IOWA 52358

PROJECT AND LOCATION:

PEDERSEN VALLEY PARK
IMPROVEMENTS - PHASE 1
WEST BRANCH, IOWA

DRAWN BY: AJB

APPROVED BY: NPK

DATE: 3/17/2017

SCALE: AS NOTED

REVISIONS		
REV. NO.	DESCRIPTION	DATE

DRAWING: LEGEND

SET TYPE: CHECK

G:\C3D\16\16-072\16-072 design.dwg, A.02

JOB NUMBER: 16-072

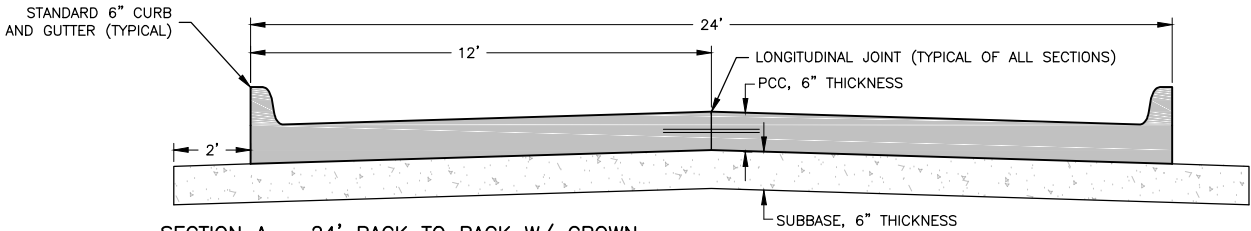
SHEET NUMBER: A.02

PLOT DATE: 3/17/17

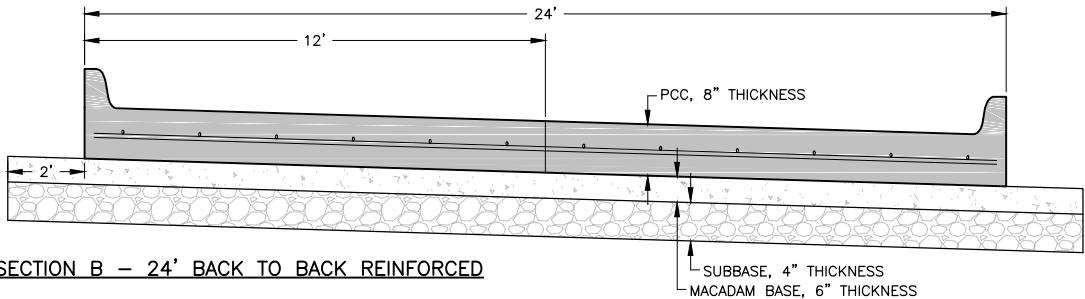
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GENERAL NOTES:

1. SECTIONS SHOWN ARE IN GENERAL, PLAN NOTATION AND ELEVATIONS GOVERN. SEE PLAN VIEWS FOR PAVEMENT INTERACTION BETWEEN SECTIONS. SEE TABULATIONS THIS SHEET FOR CROSS SLOPE DIRECTIONS FROM ϕ .
2. ALL SUBBASE SHALL BE MODIFIED SUBBASE, IOWA DOT GRADATION No. $\#\#$, UNLESS NOTED OTHERWISE IN THE PLANS.
3. ALL CURB AND GUTTERS SHALL BE BACKFILLED, EDGE OF SLAB WHERE SIDEWALKS INSTALLED PER PHASE 2 SHALL NOT BE BACKFILLED.

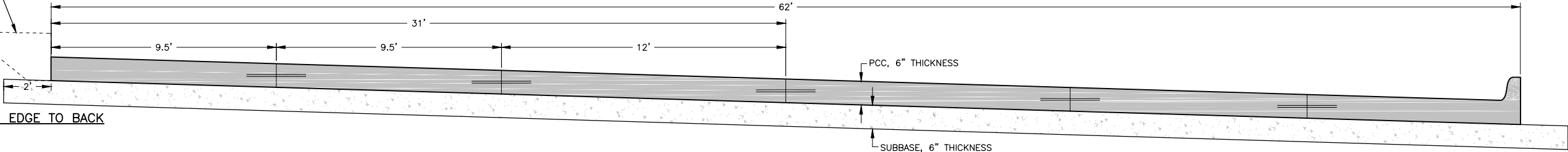


SECTION A - 24' BACK TO BACK W/ CROWN



SECTION B - 24' BACK TO BACK REINFORCED

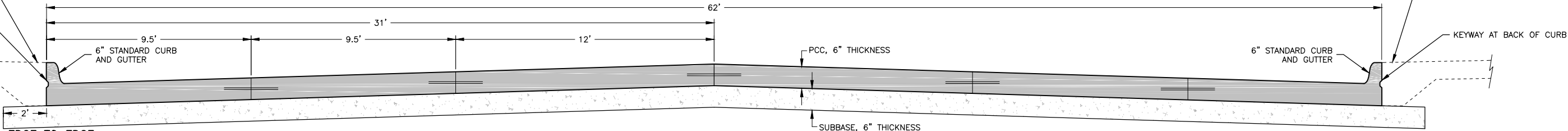
SIDEWALK PER PHASE 2.
REFER TO SUDAS
7030.202 DETAIL 3



SECTION C - 62' EDGE TO BACK

SIDEWALK PER PHASE 2.
REFER TO SUDAS
7030.202 DETAIL 1

KEYWAY AT BACK OF CURB



SECTION D - 62' EDGE TO EDGE

TABULATION OF SECTIONS - LEFT

LOCATION		LENGTH	SECTION	SLOPE		PCC	SUBBASE
ALIGNMENT	STATION TO STATION	(FEET)		% GRADE	DIRECTION (FROM ϕ)	(SY)	(TON)
MAIN DRIVE	1+98.22	2+17.39	A	1.5	AWAY		
	2+17.39	2+71.39	INTERSECTION				
	2+71.39	2+80.34	A	1.5	TOWARD		
	2+80.34	4+84.34	C	1.5	TOWARD		
	4+87.34	5+05.92	A	1.5	TOWARD		
	5+05.92	5+78.19	B	1.5	TOWARD		
	5+78.19	5+88.61	A	1.5	TOWARD		
	5+88.61	7+16.21	C	1.5	TOWARD		
	7+16.21	7+95.34	A	1.5	TOWARD		
	7+95.34	9+68.21	C	1.5	TOWARD		
ACCESSORY DRIVE	20+27.00	20+35.95	A	1.0	AWAY		
	20+35.95	23+11.49	D	1.0	AWAY		
	23+11.49	23+23.49	A	1.0	AWAY		

TABULATION OF SECTIONS - RIGHT

LOCATION		LENGTH	SECTION	SLOPE		PCC	SUBBASE
ALIGNMENT	STATION TO STATION	(FEET)		% GRADE	DIRECTION (FROM ϕ)	(SY)	(TON)
MAIN DRIVE	1+98.22	2+27.14	A	1.5	AWAY		
	2+27.14	4+78.34	C	1.5	AWAY		
	4+78.34	5+05.92	A	1.5	AWAY		
	5+05.92	5+78.19	B	1.5	AWAY		
	5+78.19	6+97.99	C	1.5	AWAY		
	6+97.99	7+74.88	INTERSECTION				
	7+74.88	8+21.39	C*	1.5	AWAY		
	8+21.39	9+68.21	C	1.5	AWAY		
	20+27.00	20+35.95	A	1.0	TOWARD		
ACCESSORY DRIVE	20+35.95	21+24.20	D	1.0	TOWARD		
	21+24.20	21+77.66	D	-	TRANSITION		
	21+77.66	23+11.49	D	1.0	AWAY		
	23+11.49	23+23.49	A	1.0	AWAY		

FEHR GRAHAM

ENGINEERING & ENVIRONMENTAL

ILLINOIS DESIGN FIRM NO. 184-003525

ILLINOIS
IOWA
WISCONSIN

OWNER/DEVELOPER:

CITY OF WEST BRANCH
110 NORTH POPLAR STREET
WEST BRANCH, IOWA 52358

PROJECT AND LOCATION:

PEDERSEN VALLEY PARK
IMPROVEMENTS - PHASE 1
WEST BRANCH, IOWA

DRAWN BY: AJB
APPROVED BY: NPK
DATE: 3/17/2017
SCALE: AS NOTED

REVISIONS

REV. NO.	DESCRIPTION	DATE

DRAWING:

TYPICAL SECTIONS

SET TYPE: CHECK

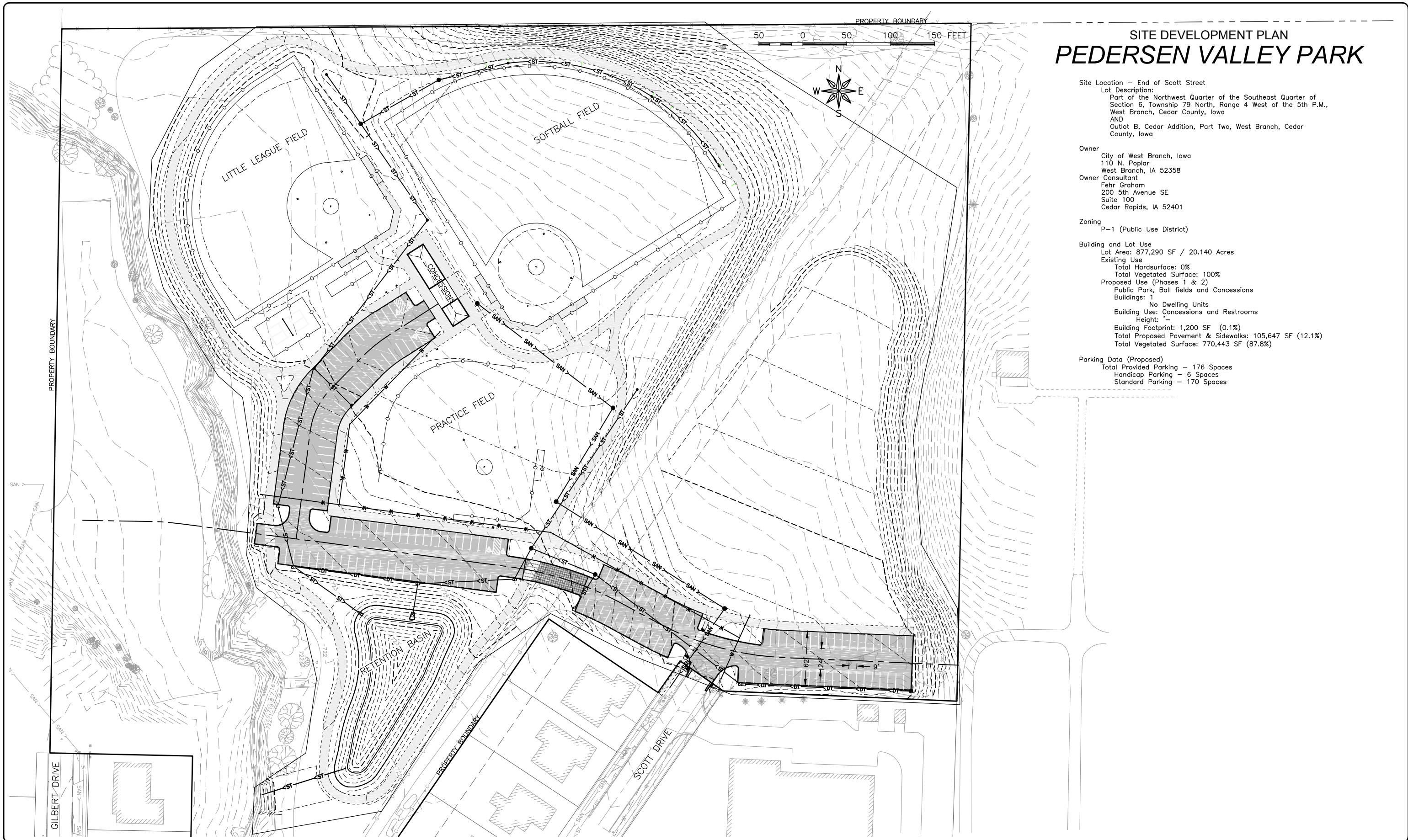
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JOB NUMBER:

16-072

SHEET NUMBER:

B.01



SITE DEVELOPMENT PLAN PEDERSEN VALLEY PARK

Site Location – End of Scott Street
Lot Description:
Part of the Northwest Quarter of the Southeast Quarter of
Section 6, Township 79 North, Range 4 West of the 5th P.M.,
West Branch, Cedar County, Iowa
AND
Outlot B, Cedar Addition, Part Two, West Branch, Cedar
County, Iowa

Owner
City of West Branch, Iowa
110 N. Poplar
West Branch, IA 52358
Owner Consultant
Fehr Graham
200 5th Avenue SE
Suite 100
Cedar Rapids, IA 52401

Zoning
P-1 (Public Use District)

Building and Lot Use
Lot Area: 877,290 SF / 20.140 Acres
Existing Use
Total Hardsurface: 0%
Total Vegetated Surface: 100%
Proposed Use (Phases 1 & 2)
Public Park, Ball fields and Concessions
Buildings: 1
No Dwelling Units
Building Use: Concessions and Restrooms
Height: -
Building Footprint: 1,200 SF (0.1%)
Total Proposed Pavement & Sidewalks: 105,647 SF (12.1%)
Total Vegetated Surface: 770,443 SF (87.8%)

Parking Data (Proposed)
Total Provided Parking – 176 Spaces
Handicap Parking – 6 Spaces
Standard Parking – 170 Spaces

FEHR GRAHAM

ENGINEERING & ENVIRONMENTAL

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WEST BRANCH, IOWA

DRAWN BY: AJB
APPROVED BY: NPK
DATE: 3/17/2017
SCALE: AS NOTED

REVISIONS		
REV. NO.	DESCRIPTION	DATE

DRAWING:
SITE MAP

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JOB NUMBER:
16-072

SHEET NUMBER:
A.03

ESTIMATED QUANTITIES

SUPPLEMENTAL SPECIFICATIONS

GENERAL NOTES

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ENGINEERING & ENVIRONMENTAL

ILLINOIS DESIGN FIRM NO. 184-003525

ILLINOIS
IOWA
WISCONSIN

OWNER/DEVELOPER:

CITY OF WEST BRANCH
110 NORTH POPLAR STREET
WEST BRANCH, IOWA 52358

PROJECT AND LOCATION:

PEDERSEN VALLEY PARK
IMPROVEMENTS – PHASE 1
WEST BRANCH, IOWA

DRAWN BY: AJB
APPROVED BY: NPK
DATE: 3/17/2017
SCALE: AS NOTED

REVISIONS		
REV. NO.	DESCRIPTION	DATE

DRAWING:

ESTIMATED QUANTITIES, GENERAL NOTES,
AND SUPPLEMENTAL SPECS.

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JOB NUMBER:

16-072

SHEET NUMBER:

C.01

KINDER MORGAN REQUIREMENTS OF OPERATING WITHIN THE PIPELINE EASEMENT

THE FOLLOWING REQUIREMENTS ARE PROVIDED FROM THE KINDER MORGAN 'GUIDELINES FOR DESIGN AND CONSTRUCTION NEAR KINDER MORGAN HAZARDOUS LIQUID OPERATED FACILITIES' DOCUMENT. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COMPLY WITH THESE REQUIREMENTS WHILE OPERATING WITHIN THE RESPECTIVE PIPELINE EASEMENT. DESIGN INFORMATION HAS BEEN REMOVED AS IT DOES NOT APPLY TO THE CONSTRUCTION PHASE.

Name of Company: Kinder Morgan Cochin (KM)

The list of design, construction and contractor requirements, including but not limited to the following, for the design and installation of foreign utilities or improvements on KM right-of-way (ROW) are not intended nor do they waive or modify any rights KM may have under existing easements or ROW agreements. Reference existing easements and amendments for additional requirements. This list of requirements is applicable for KM facilities on easements only. Encroachments on fee property should be referred to the ROW Department

CONSTRUCTION

- Contractors shall be advised of KM's requirements and be contractually obligated to comply.
- The continued integrity of KM's pipelines and the safety of all individuals in the area of proposed work near KM's facilities are of the utmost importance. Therefore, contractor must meet with KM representatives prior to construction to provide and receive notification listings for appropriate area operations and emergency personnel. KM's on-site representative will require discontinuation of any work that, in his opinion, endangers the operations or safety of personnel, pipelines or facilities.
- The Contractor must expose all KM pipelines prior to crossing to determine the exact alignment and depth of the lines. A KM representative must be present. In the event of parallel lines, only one pipeline can be exposed at a time.
- KM will not allow pipelines to remain exposed overnight without consent of KM designated representative. Contractor may be required to backfill pipelines at the end of each day.
- A KM representative shall do all line locating. A KM representative shall be present for hydraulic excavation. The use of probing rods for pipeline locating shall be performed by KM representatives only, to prevent unnecessary damage to the pipeline coating.
- Notification shall be given to KM at least 72 hours before start of construction. A schedule of activities for the duration of the project must be made available at that time to facilitate the scheduling of Kinder Morgan, Inc.'s work site representative. Any Contractor schedule changes shall be provided to Kinder Morgan, Inc. immediately.
- Heavy equipment will not be allowed to operate directly over KM pipelines or in KM ROW unless written approval is obtained from Kinder Morgan Cochin (Company). Heavy equipment shall only be allowed to cross KM pipelines at locations designated by Kinder Morgan, Inc. Contractor shall comply with all precautionary measures required by KM to protect its pipelines. When inclement weather exists, provisions must be made to compensate for soil displacement due to subsidence of tires. Equipment excavating within ten (10) feet of KM Pipelines will have a plate guard installed over the teeth to protect the pipeline.
- Excavating or grading which might result in erosion or which could render the KM ROW inaccessible shall not be permitted unless the contractor/developer/owner agrees to restore the area to its original condition and provide protection to KM's facility.
- A KM representative shall be on-site to observe any construction activities within ten (10) feet of a KM pipeline or aboveground appurtenance. The contractor shall not work within this distance without a KM representative being on site. Only hand excavation shall be permitted within two (2) feet of KM pipelines, valves and fittings unless State requirements are more stringent. However, proceed with extreme caution when within three (3) feet of the pipe.
- A KM representative will monitor construction activity within 25 feet of KM facilities during and after the activities to verify the integrity of the pipeline and to ensure the scope and conditions agreed to have not changed. Monitoring means to conduct site inspections on a pre-determined frequency based on items such as: scope of work, duration of expected excavator work, type of equipment, potential impact on pipeline, complexity of work and/or number of excavators involved.
- Ripping is only allowed when the position of the pipe is known and not within ten (10) feet of KM facility unless company representative is present.
- Temporary support of any exposed KM pipeline by Contractor may be necessary if required by KM's on-site representative. Backfill below the exposed lines and 12" above the lines shall be replaced with sand or other selected material as approved by KM's on-site representative and thoroughly compacted in 12" lifts to 95% of standard proctor dry density minimum or as approved by KM's on-site representative. This is to adequately protect against stresses that may be caused by the settling of the pipeline.
- No blasting shall be allowed within 1000 feet of KM's facilities unless blasting notification is given to KM including complete Blasting Plan Data. A pre-blast meeting shall be conducted by the organization responsible for blasting.
- KM shall be indemnified and held harmless from any loss, cost of liability for personal injuries received, death caused or property damage suffered or sustained by any person resulting from any blasting operations undertaken within 500 feet of its facilities. The organization responsible for blasting shall be liable for any and all damages caused to KM's facilities as a result of their activities whether or not KM representatives are present. KM shall have a signed and executed Blasting Indemnification Agreement before authorized permission to blast can be given.
- No blasting shall be allowed within 300 feet of KM's facilities unless blasting notification is given to KM a minimum of one week before blasting. (note: covered above) KM shall review and analyze the blasting methods. A written blasting plan shall be provided by the organization responsible for blasting and agreed to in writing by KM in addition to meeting requirements for 500' and 1000' being met above. A written emergency plan shall be provided by the organization responsible for blasting. (note: covered above)
- Any contact with any KM facility, pipeline, valve set, etc. shall be reported immediately to KM. If repairs to the pipe are necessary, they will be made and inspected before the section is re-coated and the line is back-filled.
- KM personnel shall install all test leads on KM facilities.
- Burning of trash, brush, etc. is not permitted within the KM ROW.

INSURANCE REQUIREMENTS

- All contractors, and their subcontractors, working on Company easements shall maintain the following types of insurance policies and minimum limits of coverage. All insurance certificates carried by Contractor and Grantee shall include the following statement: "Kinder Morgan and its affiliated or subsidiary companies are named as additional insured on all above policies (except Worker's Compensation) and waiver of subrogation in favor of Kinder Morgan and its affiliated or subsidiary companies, their respective directors, officers, agents and employees applies as required by written contract." Contractor shall furnish Certificates of Insurance evidencing insurance coverage prior to commencement of work and shall provide thirty (30) days notice prior to the termination or cancellation of any policy.
- Statutory Coverage Workers' Compensation Insurance in accordance with the laws of the states where the work is to be performed. If Contractor performs work on the adjacent on navigable waterways Contractor shall furnish a certificate of insurance showing compliance with the provisions of the Federal Longshoreman's and Harbor Workers' Compensation Law.
 - Employer's Liability Insurance, with limits of not less than \$1,000,000 per occurrence and \$1,000,000 disease each employee.
 - Commercial General Liability Insurance with a combined single limit of not less than \$2,000,000 per occurrence and in the aggregate. All policies shall include coverage for blanket contractual liability assumed.
 - Comprehensive Automobile Liability Insurance with a combined single limit of not less than \$1,000,000. If necessary, the policy shall be endorsed to provide contractual liability coverage.
 - If necessary Comprehensive Aircraft Liability Insurance with combined bodily injury, including passengers, and property damage liability single limits of not less than \$5,000,000 each occurrence.
 - Contractor's Pollution Liability Insurance this coverage shall be maintained in force for the full period of this agreement with available limits of not less then \$2,000,000 per occurrence.
 - Pollution Legal Liability Insurance this coverage must be maintained in a minimum amount of \$5,000,000 per occurrence.

ENTERPRISE PRODUCTS REQUIREMENTS OF OPERATING WITHIN THE PIPELINE EASEMENT

THE FOLLOWING REQUIREMENTS ARE PROVIDED FROM THE ENTERPRISE PRODUCTS 'ENCROACHMENT GUIDELINES' DOCUMENT AND ARE ONLY A PORTION OF WHAT IS REQUIRED WHILE WORKING WITHIN THE PIPELINE EASEMENT. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COMPLY WITH THESE REQUIREMENTS WHILE OPERATING WITHIN THE RESPECTIVE PIPELINE EASEMENT. THE PDF FORMAT OF THE ENCROACHMENT GUIDELINES DOCUMENT SHALL BE MADE AVAILABLE UPON REQUEST.

General Excavation Guidelines

- Always make a One-Call prior to performing any excavation activities. Dial 811 or go to www.call811.com.
- Do not perform any excavation activities on Enterprise's rights-of-way without approval from Enterprise. Enterprise will review your plans for excavation within Enterprise's rights-of-way, locate and mark the pipeline assets (if necessary) and an Enterprise representative will be on-site to monitor the excavation activity.
- No heavy equipment is allowed to work directly over the pipeline. The right-of-way boundary should be marked with temporary fencing or white line to assist the operator with positioning heavy equipment.
- All mechanical digging equipment must dig parallel to the pipelines and have the teeth removed or barred with a plate welded across the bucket. An Enterprise representative has the authority to suspend excavation activities if an equipment operator appears to be unqualified or equipment maintenance is not in accordance with applicable regulations.

An Enterprise representative has the authority to suspend excavation activities if an equipment operator appears to be unqualified or equipment maintenance is not in accordance with applicable regulations.

Construction Equipment & Large Vehicle Crossings

- Construction equipment and large vehicles crossing the pipeline easement may present a risk of damage to underground utilities. Therefore, Enterprise will perform stress analysis to ensure that the proposed use of construction equipment or large vehicles will neither damage the pipeline nor present a safety hazard. When submitting a request for heavy equipment crossing, please include the following for any vehicle proposing to cross Enterprise's rights-of-way:
 - Make/model
 - Size
 - Weight
 - Maximum axle load
- Enterprise will work diligently to perform its analysis, but typically requires a minimum of three working days to complete the analysis.
- Construction equipment should only cross the pipeline at Enterprise-designated locations. Enterprise will seek recovery for any and all damage caused by unapproved crossings.

PIPELINE CONTACTS:

KINDER MORGAN
ADMINISTRATIVE AND FIELD
DAVID LENSING
PH: 641.330.3055
EMAIL: david_lensing@kindermorgan.com

ENTERPRISE PRODUCTS
ADMINISTRATIVE
JAY JOHNSON – ENCROACHMENT ANALYST
PH: 281.877.3373
EMAIL: jarjohnson@eprod.com
FIELD
BRIAN MUELLER – IOWA CITY OPERATIONS
PH: 319-430-6979
EMAIL: bmuelle@eprod.com



ENGINEERING & ENVIRONMENTAL

ILLINOIS DESIGN FIRM NO. 184-003525

ILLINOIS
IOWA
WISCONSIN

OWNER/DEVELOPER:
CITY OF WEST BRANCH
110 NORTH POPLAR STREET
WEST BRANCH, IOWA 52358

PROJECT AND LOCATION:
PEDERSEN VALLEY PARK
IMPROVEMENTS – PHASE 1
WEST BRANCH, IOWA

DRAWN BY: AJB
APPROVED BY: NPK
DATE: 3/17/2017
SCALE: AS NOTED

REVISIONS		
REV. NO.	DESCRIPTION	DATE

DRAWING:
PIPELINE REQUIRMENTS AND INFORMATION

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JOB NUMBER:
16-072

SHEET NUMBER:
C.02

1.0 INTRODUCTION

This Storm Water Pollution Prevention Plan (SWPPP) covers operations for the construction of Pedersen Valley Park, West Branch, Iowa. This plan has been developed as required under Iowa Administration Code 567–Chapter 64 for Storm Water Discharges from Industrial Activities. This SWPPP describes the project, identifies potential sources of storm water pollution at the facility, recommends appropriate best management practices (BMPs) or pollution control measures to reduce the discharge of pollutants in storm water runoff, and provides a periodic review of this SWPPP. BMPs are defined as structural or non–structural measures, practices, techniques or devices employed to avoid or minimize soil, sediment or pollutants carried in runoff to waters of the site. The plan will be amended whenever there is a change in construction, operation, or maintenance at the project that may affect the discharge of significant quantities of pollutants into the storm water discharge, or if a project inspection indicates that an amendment is needed.

2.0 GENERAL FACILITY INFORMATION

SWPPP Manager

This SWPPP will be managed by _____, the General/Primary Contractor. Their contact information is:

Name _____

Address _____

City, State Zip _____

Project Location

The site is located at the end of Scott Drive, West Branch, Iowa, in the SE Quarter of Section 6, Township 79 North, Range 4 West.

Owner

City of West Branch
110 North Poplar Street
West Branch, Iowa 52358

Existing Site Conditions

The site is currently open field with grass.

Project Description & Activities

Project consists of construction of a new park with ballfields and concessions facility with hard surfaced parking lot. Soil disturbing activities will amount to topsoil stripping, site grading, utility construction, fill placement, building construction, parking lot construction and topsoil hauling and spreading.

Project Area

The project Area includes approximately 20.1 acres. It is estimated that 14.0 acres will disturbed by construction activities.

Soil Types

Based on NRCS Soil Mapping, site soils consist of ~~soil description. Example: Kenyon Loam, Fort Dodge Loam and Dickinson Fine Sandy Loam. Kenyon Loam and Fort Dodge Loam are classified as moderately well drained, Type B soils. Dickinson Fine Sandy Loam is classified as highly drainable, Type A soil. The site currently has an average slope of 3.0%. Proposed slopes will change slightly.~~

~~No wetlands or contaminated soils are believed to be present within the area of construction. No water monitoring data for the construction site is available.~~

Runoff Coefficient

Post–Construction average Runoff Coefficient (C) is ~~0.45. The quality of existing discharge from the site is unknown.~~

Receiving Waters

Discharge will be from 2 point source. 1. Discharge will travel overland to the creek through the project site. 2. Discharge will travel overland to gutter lines of Scott Drive into a storm system.

3.0 CONTROLS

The following controls shall be implemented on the site to reduce the erosion and sediments from leaving this site. All co–permittees shall be responsible for the implementation and management of these erosion, sediment, and storm water management control measures specified herein. The work shall be done in accordance with the current edition (2013) of the Urban Standard Specifications for Public Improvements (SUDAS). Modifications may be made and additional items and/or work required as part of this plan as work progresses as determined by the Owner, Engineer, Co–Permittees, or other governmentally regulated agencies after field inspection.

Temporary Erosion Controls

1. Not disturbing the natural ground until actual construction begins
2. Temporary seeding within 14 days if construction in the specific area is not planned for at least 21 days
3. Place stone subbase on areas to be paved as soon as possible after grading
4. Place mulch on slopes as required to prevent erosion and aid in establishing vegetation
5. Place temporary rolled erosion control product

Permanent Erosion Controls

1. Establish vegetation on all unsurfaced disturbed areas
2. Stabilize surfaced areas
3. Rip rap at storm sewer outlets where current may cause erosion.

Temporary Sediment Controls

1. Install silt fence at the perimeter of the project as required
2. Install silt fence at the base of slopes and intermittently on steep slopes as indicated on the Site Map
3. Install silt fence at the base of unstabilized stockpiles, if present
4. Not disturbing existing vegetation until necessary
5. Protect new intakes from sediment entering until surrounding area is surfaced or vegetated.
6. Install temporary rolled erosion control product
7. Installation of erosion control devices in accordance with Section 9040 of SUDAS

Permanent Sediment Controls

1. Establish vegetation in dry–bottom channels and swales
2. Establish vegetation at perimeter of project
3. Detention basin

Structural Practices

Structural practices are in place to divert flows for exposed soils, storm flows, or otherwise limit runoff from exposed areas of the site to the degree attainable.

Topsoil Requirement

All available onsite topsoil must be stripped and deposited to a minimum finished depth of 6 inches or as noted in the construction plans.

Storm Water Management

Site specific. Example: Storm water management for the site will consist of a detention basin, graded and shaped with onsite earth. See plans for storm water calculations. Basin will be covered with grass and temporary rolled erosion control product to aid in establishment of grass. Erosion Stone will be placed at both Inlet and outlets for scour protection.

Tracking

Stabilized, temporary construction entrances shall be installed, as needed, by the Contractor to prevent tracking of excess dirt, mud, and rock onto adjacent roads and streets. Any tracking that occurs shall be cleaned as necessary.

Dust Control

Fugitive dust shall be controlled by watering the grade or other means as approved by the Engineer in accordance with Section 9040 of SUDAS.

Concrete Washout

Site specific: Example: A 10'x 10'x5' concrete washout bay with 3:1 slopes lined with heavy duty plastic or approved equal shall be constructed onsite, or a commercial concrete washout bag shall be used. The washout basin/bag will contain the washout water and unused concrete material from entering downstream streams. Concrete shall be removed from the basin/bag once hardened and disposed properly. The washout basin/bag shall be inspected daily to ensure that there are no leaks or tears present in the heavy duty plastic liner or bag and identify when concrete wastes need to be removed. The washout basin/bag shall be cleaned once the bay is filled to 80 percent capacity. Once construction is complete, the concrete basin/bag shall be removed and the area restored prior to final seeding.

Construction Dumpsters and Site Waste

Site specific: Example: Building material dumpsters shall be located onsite and kept in an area where contact with storm water discharge will not occur. For this site, these areas are drainage channels and street gutters. All construction waste materials (including, but not limited to, all scrap and debris, rubbish, and trash generated on–site) shall be disposed of by the end of each working day in a dumpster or appropriate size container and shall not be stockpiled on the site unless in a covered and enclosed structure or trailer; that dumpsters on site are inspected daily for leaks and promptly repaired or replaced if found to be leaking; and that dumpsters are emptied by regular waste collection methods before dumpsters overflow. All waste materials hauled off–site shall be covered to prevent littering and spilled material shall be cleaned immediately. All waste containers shall be properly disposed of according to manufacturer's recommendations and local, state, and federal regulations. No construction materials or site waste will be buried on site or in an unapproved landfill.

Sanitary Waste

A portable restroom facility shall be located on site at all times. Sanitary facilities shall not be located on or near storm water drains. An approved sanitary waste management Contractor shall collect all sanitary waste from portable unit(s) and dispose waste in accordance with state and local requirements. All sanitary facilities located on site shall be staked to the ground to prevent spillage.

Material and Equipment Storage

Material and equipment storage shall be kept in an area where contact with storm water discharge will not occur. These areas are waterways or road ditches. Fuel and petroleum products, paint material and all other materials shall follow the storage requirements listed on their MSDS sheets. It is the intention of this section to keep materials stored in a neat, water tight and orderly area which shall prevent storm water from entering the materials.

Equipment Maintenance

Onsite maintenance area shall amount to daily maintenance required by the equipment manufactory only. All major fuel spills shall be cleaned immediately and reported. No cleaning which will require the use of detergents shall be allowed onsite.

Construction Parking Area

A designated parking area for vehicles entering and leaving the site daily shall be established within the construction site. The area shall be kept clean and stabilized with 2" clean rock, if needed.

4.0 MAINTENANCE

The Primary Contractor shall maintain any temporary and permanent control measures. This includes cleaning, repair, or replacement of silt fences, and reseeding throughout the construction period. Silt fence shall be cleaned when filled to half capacity or more to prevent failure.

5.0 INSPECTIONS, RETENTION OF RECORDS AND UPDATES

The project will be inspected by a designated representative of the Contractor every seven calendar days (weekly inspection). Silt fences will be inspected for depth of sediment and overall quality and effectiveness. Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth. An inspection report shall be completed after each inspection. This plan may be revised and updated upon conclusions derived from inspections, and the Primary Contractor shall be notified and shall implement all revisions and updates as soon as practical but not more than 7 days after notification.

Unless erosion is evident or other conditions warrant them, regular inspections are not required on areas that have sufficient density to preclude erosion.

A copy of this SWPPP, notice of intent, Iowa DNR permit, and all reports or inspection sheets must be kept in a binder organized by date of inspection and remain onsite at all times during construction. Binder shall be kept clean, dry and organized throughout construction. This binder shall be kept for at least three years after final stabilization has been achieved and a Notice of Discontinuation has been submitted to the Iowa DNR.

All inspection reports as well as any other SWPPP documents shall be made available upon request to any government official no later than 3 hours after the request.

This SWPPP shall be updated and revised as necessary, and documentation of all updates and revisions are required. The documentation shall be kept on site with the SWPPP.

6.0 NON–STORM WATER DISCHARGES

Iowa Department of Natural Resources allows the following non–storm water discharges under the condition that no pollutants are allowed to come in contact with the water prior to or after it is discharged from the site:

1. Uncontaminated groundwater from dewatering excavation
2. Potable water from waterline flushing or irrigation
3. Wash water from equipment, buildings, and/or vehicles excluding detergents
4. Pavement wash water where no spills or leaks of toxic or hazardous materials have occurred
5. Air conditioning condensate
6. Springs

Erosion control measures shall be taken to reduce or eliminate the sources of non–storm water discharges that are combined with storm water discharges from the construction site.

7.0 SPILL PREVENTION

The following is a list of possible materials that may be on site during construction activities:

1. Concrete
2. Concrete curing compound
3. Detergents
4. Tar
5. Fertilizers
6. Petroleum based products
7. Solvents
8. Paints
9. Adhesives
10. Fuels
11. Lubricants

To prevent or minimize the risk of spills or accidental exposure of materials to storm water, the co–permittees shall make a good faith effort to store only the products necessary and only enough of the products necessary to do the job. All materials shall be stored in appropriate, labeled containers, and whenever possible, the original manufacturer's packaging and labels.

A list of any materials on site that are not listed here shall be provided by the co–permittee supplying and using those materials, as well as a specific plan to minimize the risk of spills or exposure to storm water discharges. If certification is required to handle certain materials, a list of individuals with the proper certifications and their contact information shall be readily available on site at all times while those materials are present.

In the event of a spill, all contaminated soil, water, or other materials shall be cleaned or disposed of immediately after discovery. Personnel shall wear appropriate protective clothing to prevent injury from contact with contaminates. Spills of hazardous or toxic material shall be reported to the appropriate governmental agency and to the Owner and Primary Contractor, regardless of size.



I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Nathan P. Kass, P.E., P.L.S. Date
License Number 18659
My license renewal date is December 31, 2017.
Pages or sheets covered by this seal: C.03 - C.05

FEHR GRAHAM

ENGINEERING & ENVIRONMENTAL
ILLINOIS DESIGN FIRM NO. 184–003525

ILLINOIS
IOWA
WISCONSIN

OWNER/DEVELOPER:

CITY OF WEST BRANCH
110 NORTH POPLAR STREET
WEST BRANCH, IOWA 52358

PROJECT AND LOCATION:

PEDERSEN VALLEY PARK
IMPROVEMENTS – PHASE 1
WEST BRANCH, IOWA

DRAWN BY: **AJB**
APPROVED BY: **NPK**
DATE: **3/17/2017**
SCALE: **AS NOTED**

REVISIONS		
REV. NO.	DESCRIPTION	DATE

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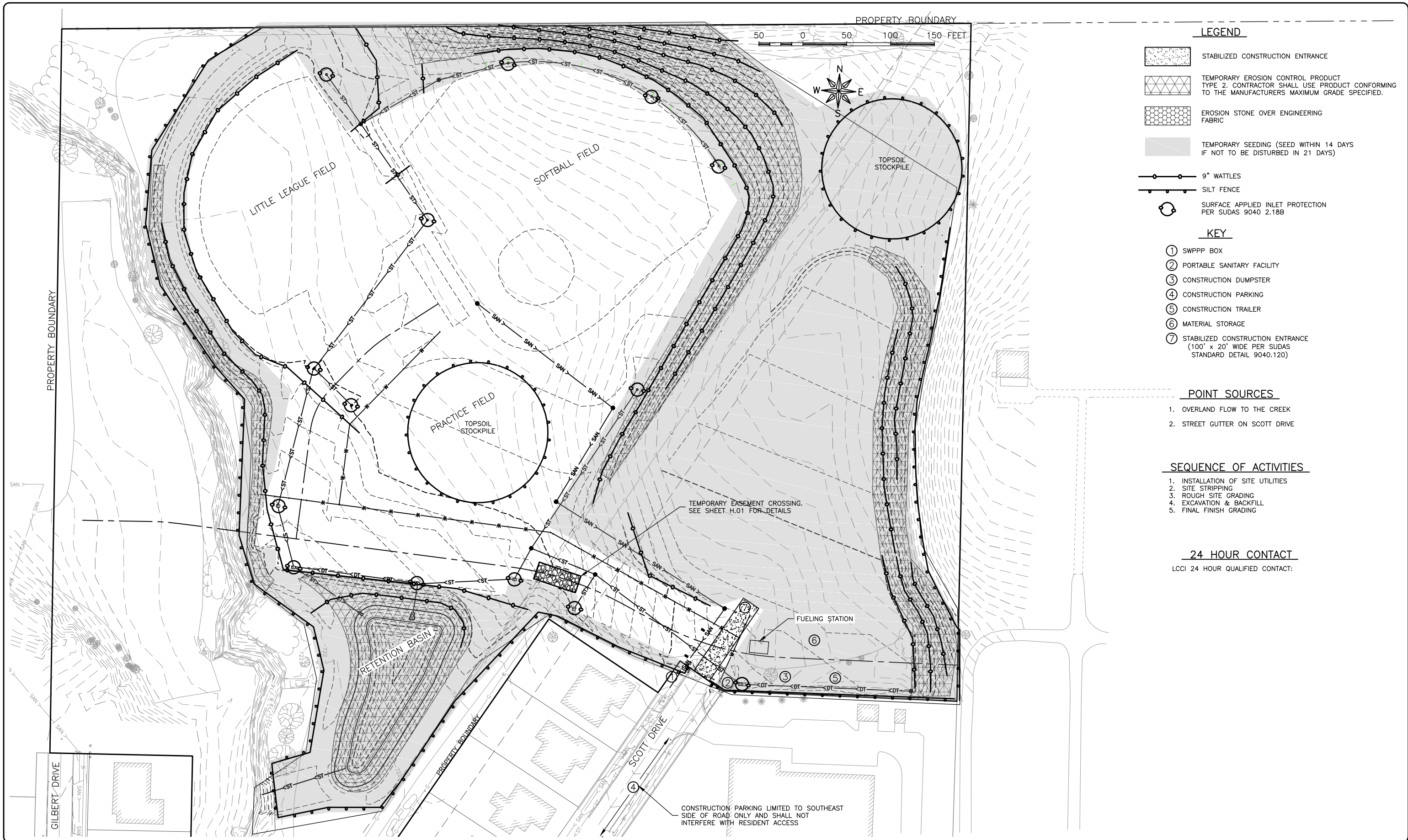
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16–072

SHEET NUMBER:

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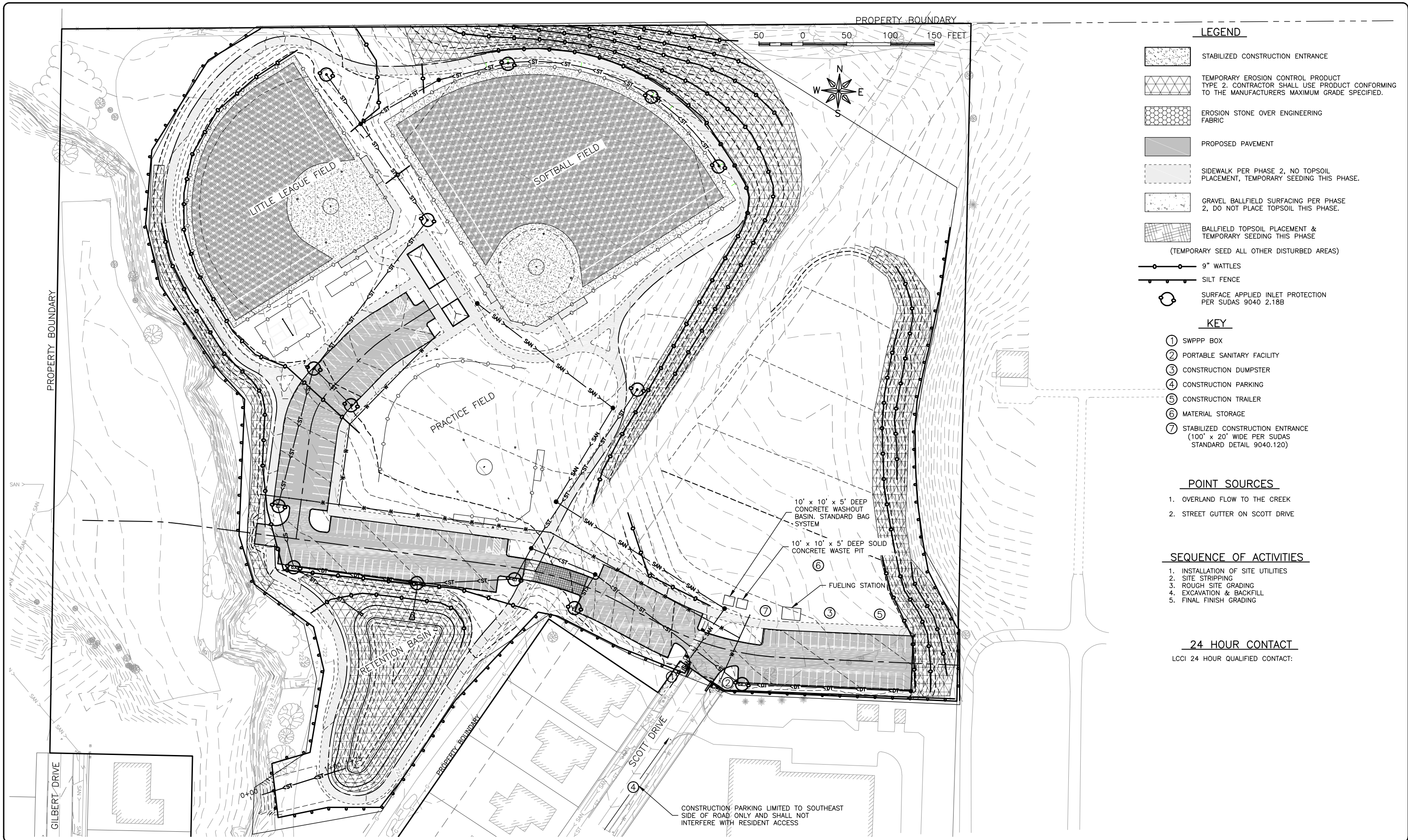
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UTILITIES

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JOB NUMBER:
16-072

SHEET NUMBER:
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LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY EROSION CONTROL PRODUCT
TYPE 2. CONTRACTOR SHALL USE PRODUCT CONFORMING
TO THE MANUFACTURERS MAXIMUM GRADE SPECIFIED.
- EROSION STONE OVER ENGINEERING
FABRIC
- PROPOSED PAVEMENT
- SIDEWALK PER PHASE 2, NO TOPSOIL
PLACEMENT, TEMPORARY SEEDING THIS PHASE.
- GRAVEL BALLFIELD SURFACING PER PHASE
2, DO NOT PLACE TOPSOIL THIS PHASE.
- BALLFIELD TOPSOIL PLACEMENT &
TEMPORARY SEEDING THIS PHASE
- (TEMPORARY SEED ALL OTHER DISTURBED AREAS)
- 9" WATTLES
- SILT FENCE
- SURFACE APPLIED INLET PROTECTION
PER SUDAS 9040.2.18B

KEY

- SWPPP BOX
- PORTABLE SANITARY FACILITY
- CONSTRUCTION DUMPSTER
- CONSTRUCTION PARKING
- CONSTRUCTION TRAILER
- MATERIAL STORAGE
- STABILIZED CONSTRUCTION ENTRANCE
(100' x 20' WIDE PER SUDAS
STANDARD DETAIL 9040.120)

POINT SOURCES

- OVERLAND FLOW TO THE CREEK
- STREET GUTTER ON SCOTT DRIVE

SEQUENCE OF ACTIVITIES

- INSTALLATION OF SITE UTILITIES
- SITE STRIPPING
- ROUGH SITE GRADING
- EXCAVATION & BACKFILL
- FINAL FINISH GRADING

24 HOUR CONTACT

LCCI 24 HOUR QUALIFIED CONTACT:

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DRAWING:

SWPPP MAP - PAVING AND FINAL

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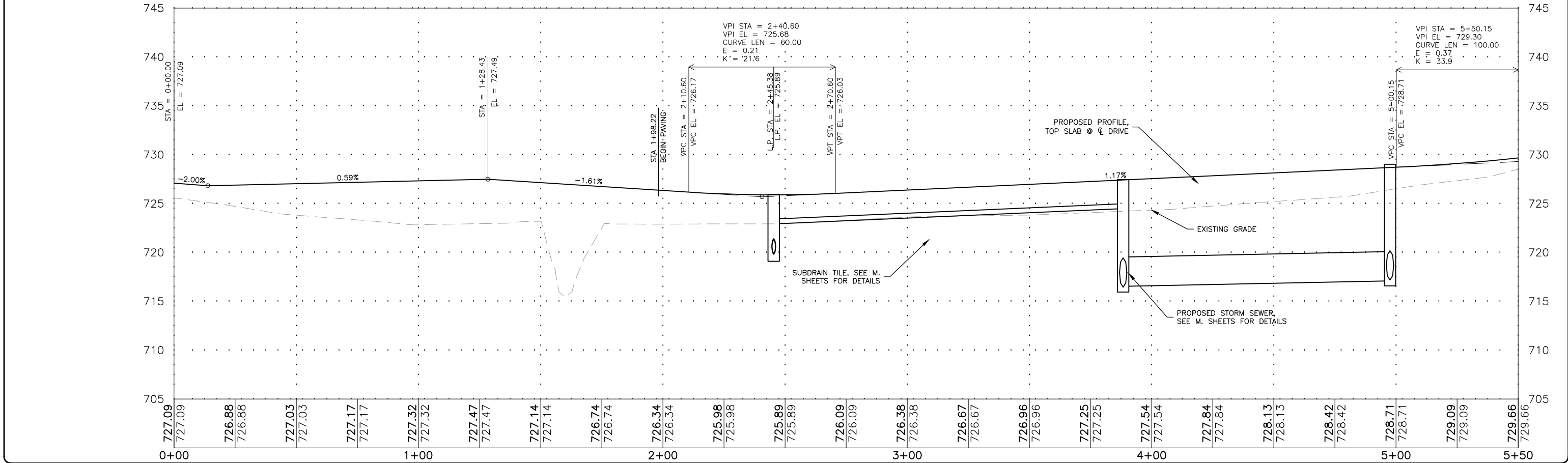
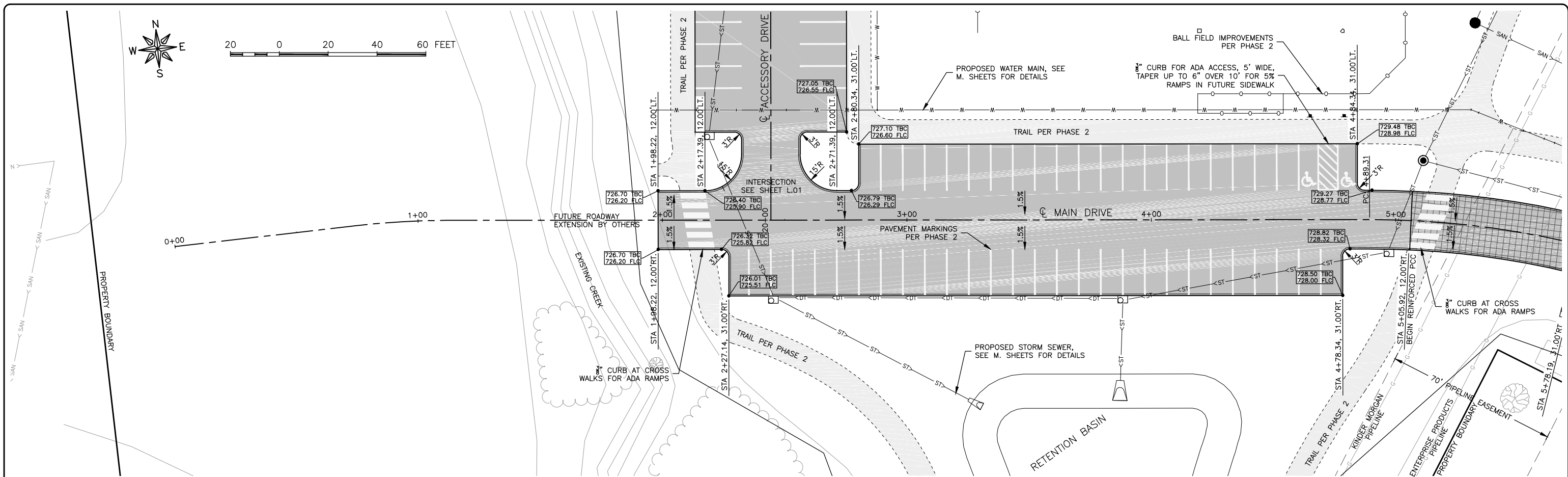
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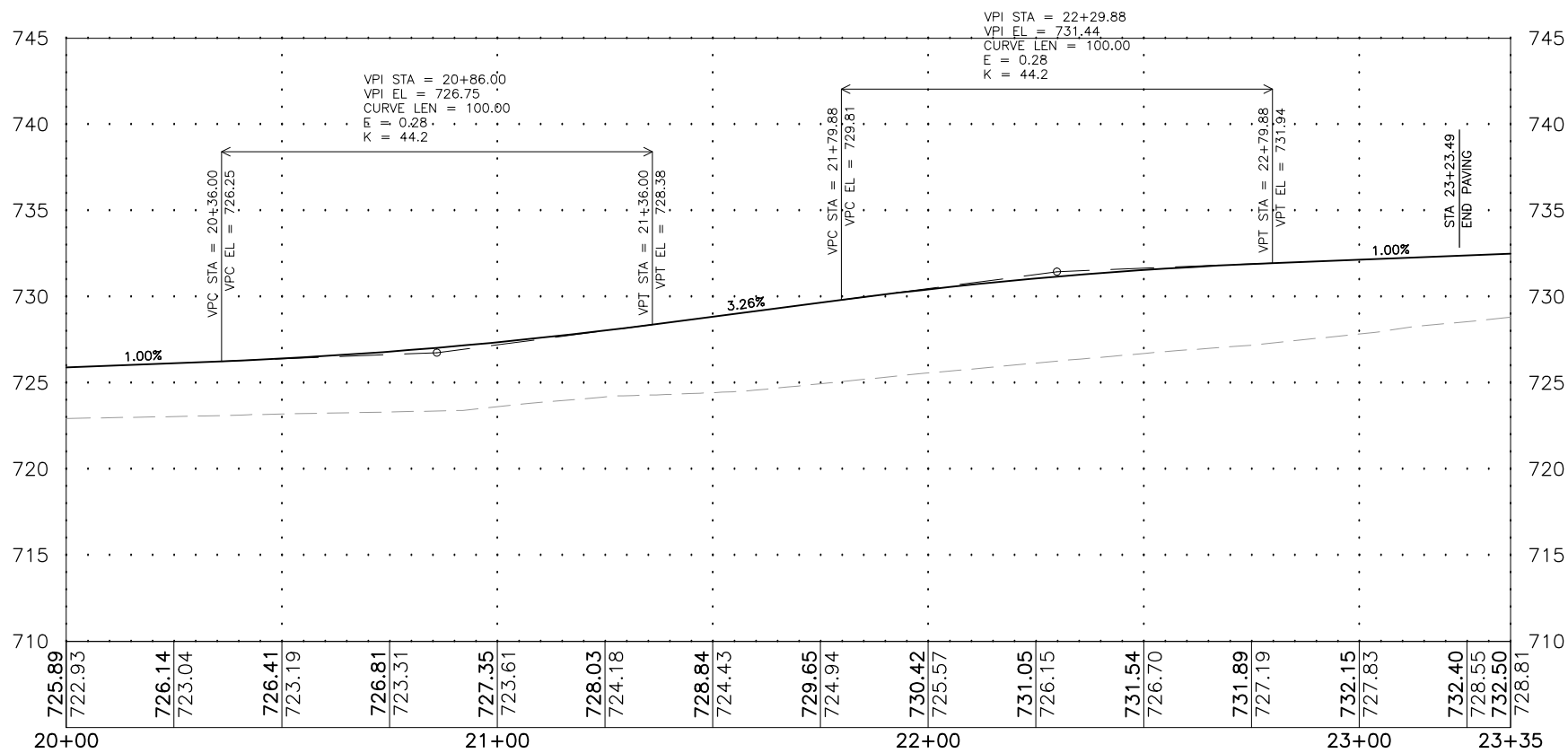
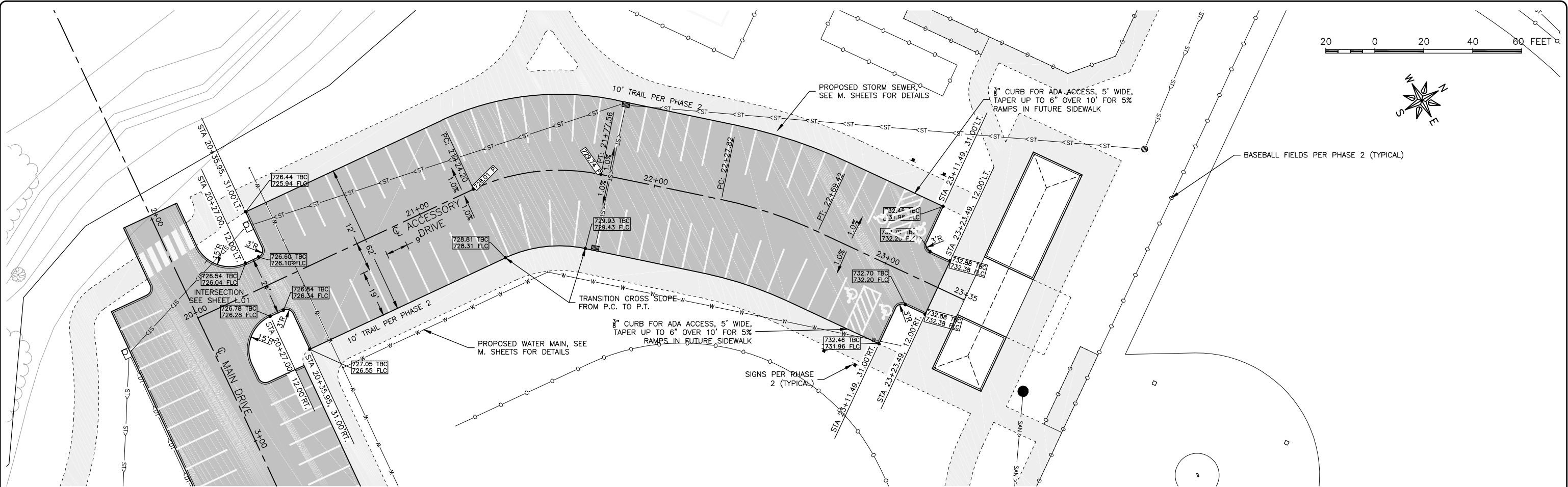
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DRAWING:
MAIN DRIVE AND PARKING PLAN AND
PROFILE

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16-072
SHEET NUMBER:
D.01



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SCALE: AS NOTED

REVISIONS

REV. NO.	DESCRIPTION	DATE

DRAWING:

ACCESSORY DRIVE AND PARKING PLAN AND
PROFILE

SET TYPE:

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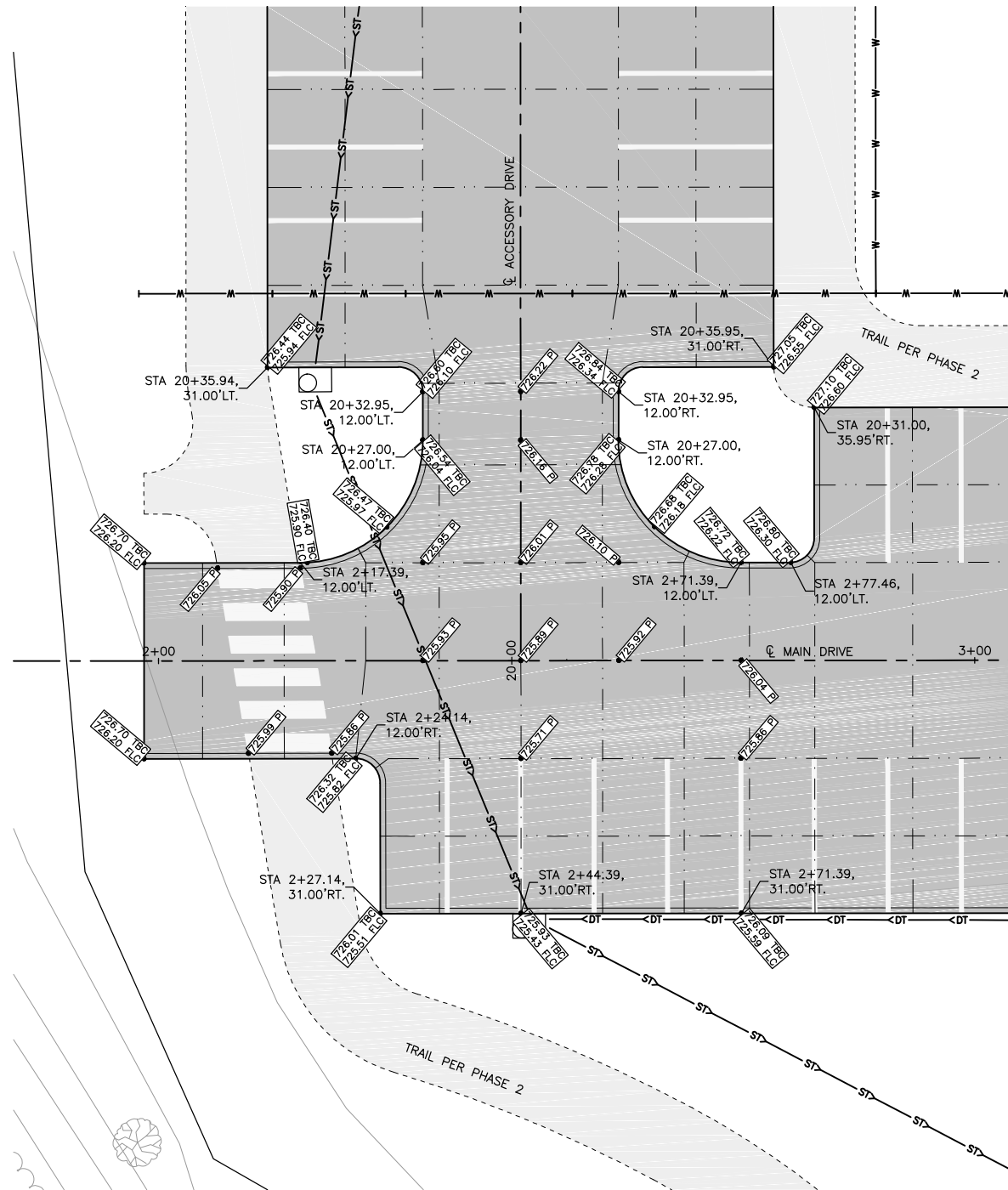
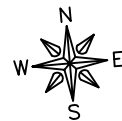
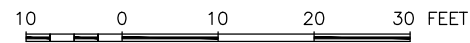
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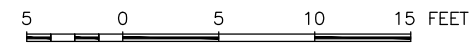
D.03

PLOT DATE: 3/17/17

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INTERSECTION OF MAIN DRIVE AND ACCESSORY DRIVE



INTERSECTION OF SCOTT DRIVE AND MAIN DRIVE

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DRAWING:

INTERSECTION PLANS

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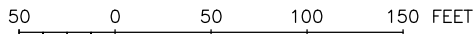
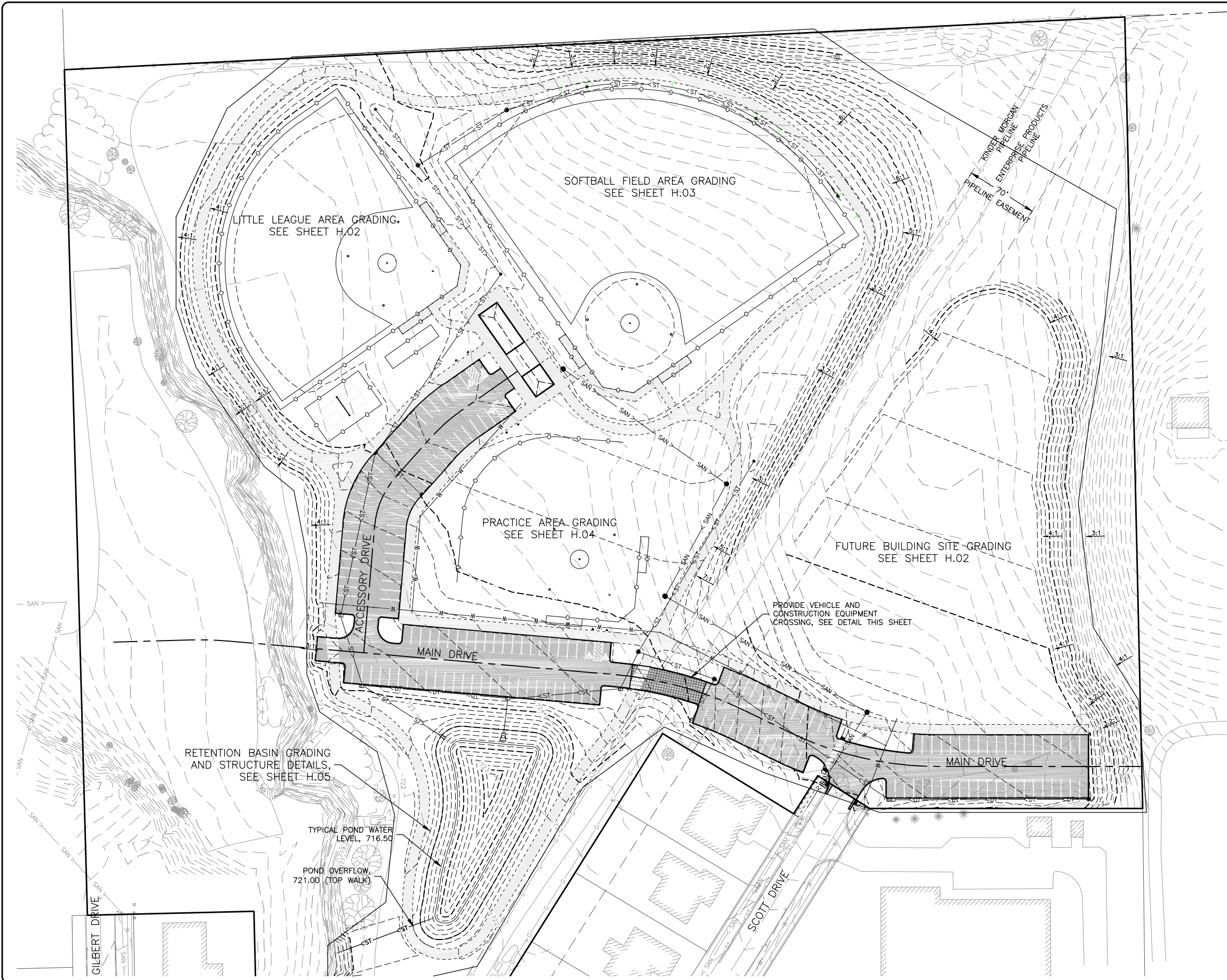
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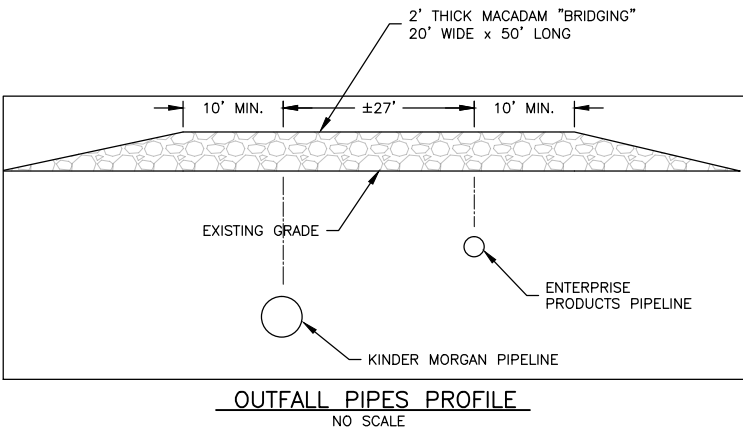


GENERAL NOTES:

- BOTH LITTLE LEAGUE AND SOFTBALL FIELDS SHALL BE GRADED AND TOPSOIL PLACED TO FINISHED GRADE FOR FINAL PREPARATION PER PHASE 2. TOP SOIL SHALL NOT BE PLACED IN LOCATIONS OF GRAVEL SURFACE IN BALL FIELDS. GRAVEL SURFACE PER PHASE 2.
- ALL TRAIL LOCATIONS SHALL BE GRADED TO SUBGRADE HEIGHT WITH 5' BUFFER BOTH SIDES OF TRAIL. SEE TYPICAL SECTIONS ON SHEET B.02
- FUTURE BUILDING SITE SHALL BE FINISHED W/ TOPSOIL AND FINAL SEEDING THIS PHASE.
- RETENTION BASIN SHALL BE FINISHED W/ TOPSOIL AND FINAL SEEDING THIS PHASE.
- ALL CURB AND GUTTERS NOT ABUTTING THE TRAILS PER PHASE 2 SHALL BE BACKFILLED AND SEEDDED.

PIPELINE NOTES:

- A 70' PIPELINE EASEMENT CROSSES THIS SITE WITH RIGHTS TO KINDER MORGAN AND ENTERPRISE PRODUCTS. SEE ADDITIONAL PIPELINE RIGHTS AND CONTACT INFORMATION ON SHEET C.##.
- VEHICLES & CONSTRUCTION EQUIPMENT SHALL ONLY CROSS THE EASEMENT AT THE MAIN DRIVE LOCATION.
 - CONTRACTOR SHALL CONSTRUCT A CROSSING OVER THE PIPELINE OF 2' THICK MACADAM TO BRIDGE THE LOADS OVER THE PIPELINES.
 - ANY EXCAVATION CROSSING THE PIPELINE REQUIRES A STANDBY OF THE RESPECTIVE PIPELINE. CONTRACTOR SHALL MAINTAIN THIS CROSSING THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL PREPARATION FOR PAVING.



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WEST BRANCH, IOWA

DRAWN BY: AJB
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DATE: 3/17/2017
SCALE: AS NOTED

REVISIONS

REV. NO.	DESCRIPTION	DATE

DRAWING:

GRADING SITE MAP

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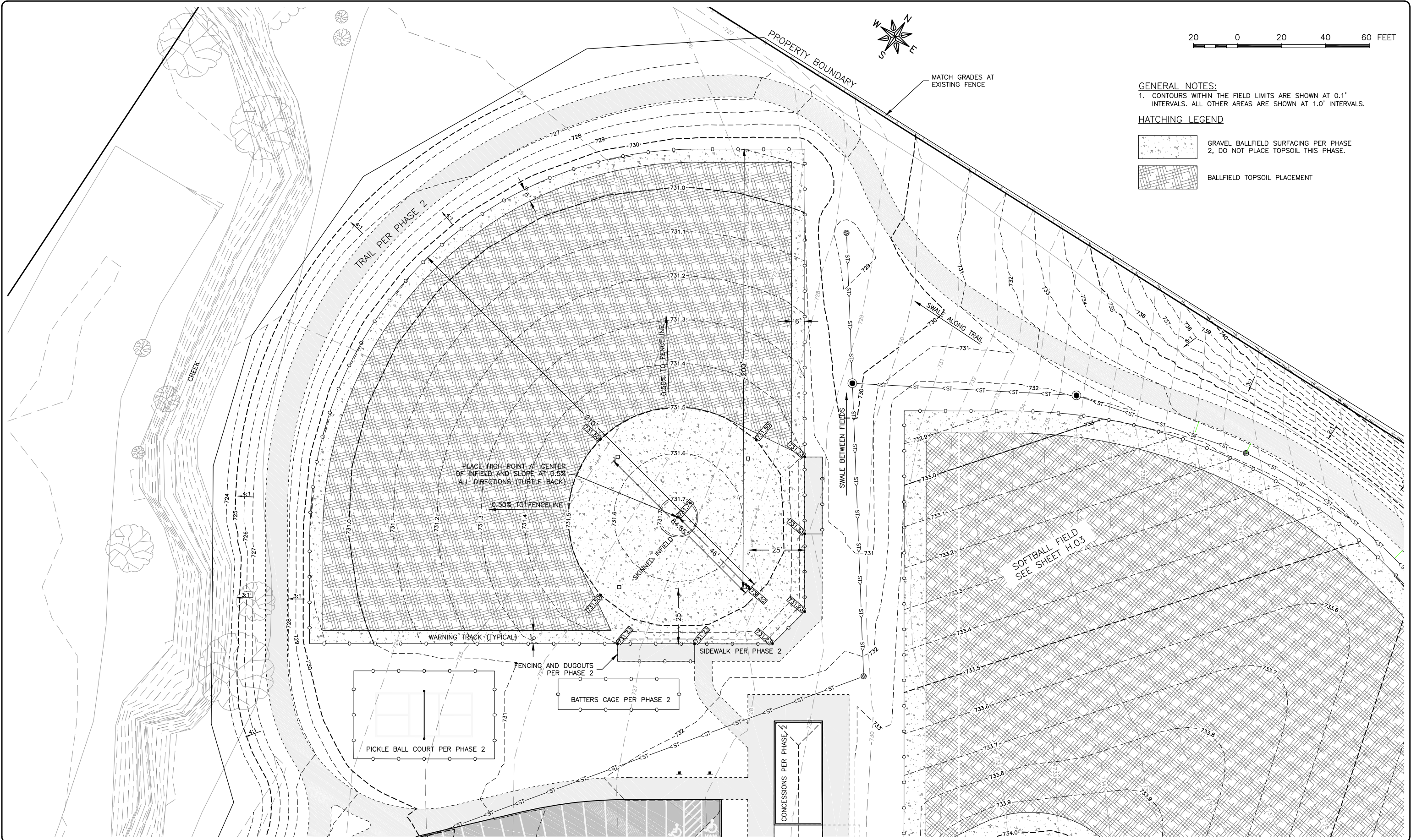
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SITE GRADING

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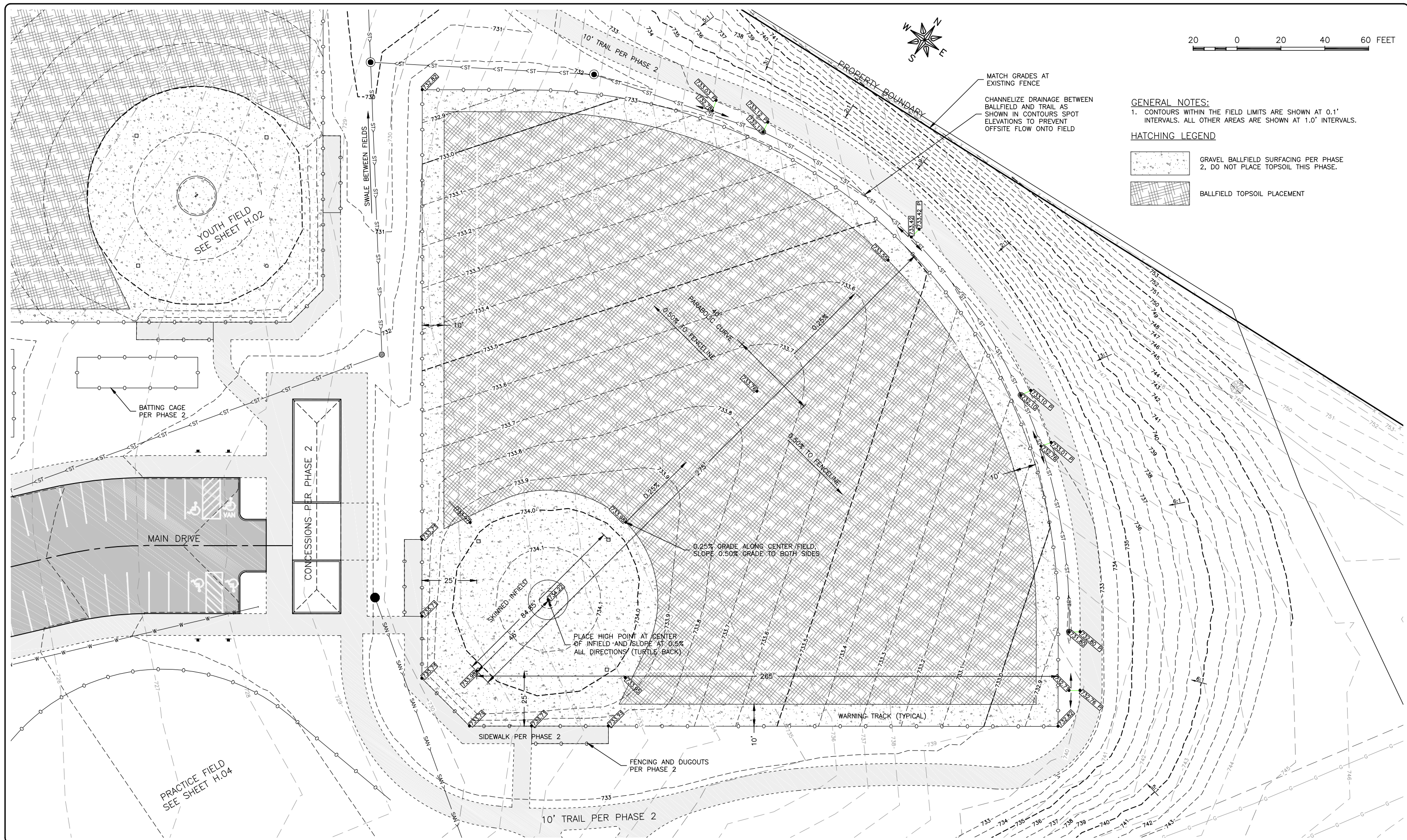
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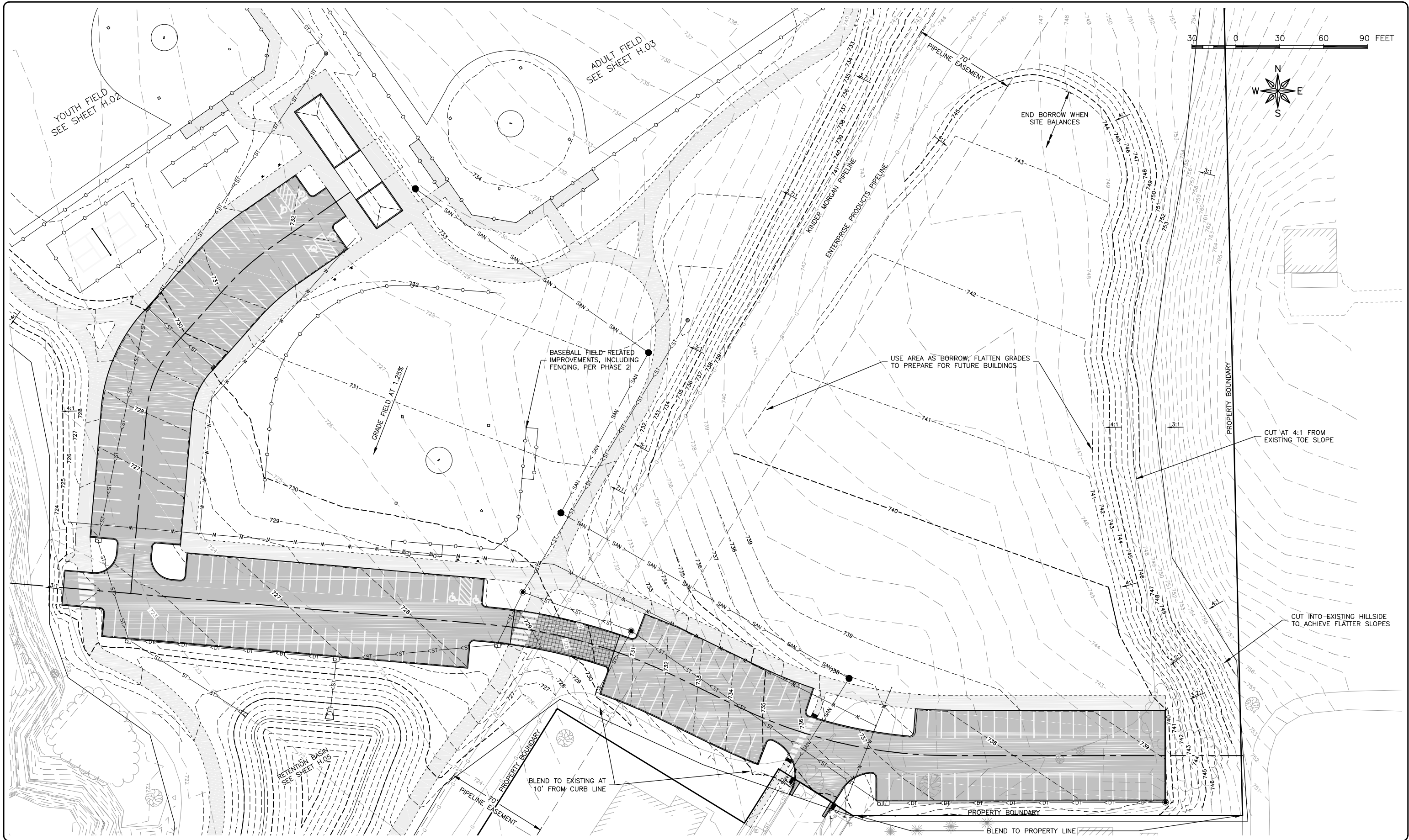
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PLOT DATE: 3/17/17

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DRAWING:

SITE GRADING

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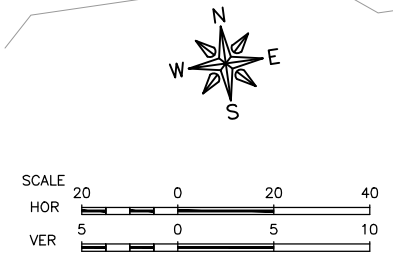
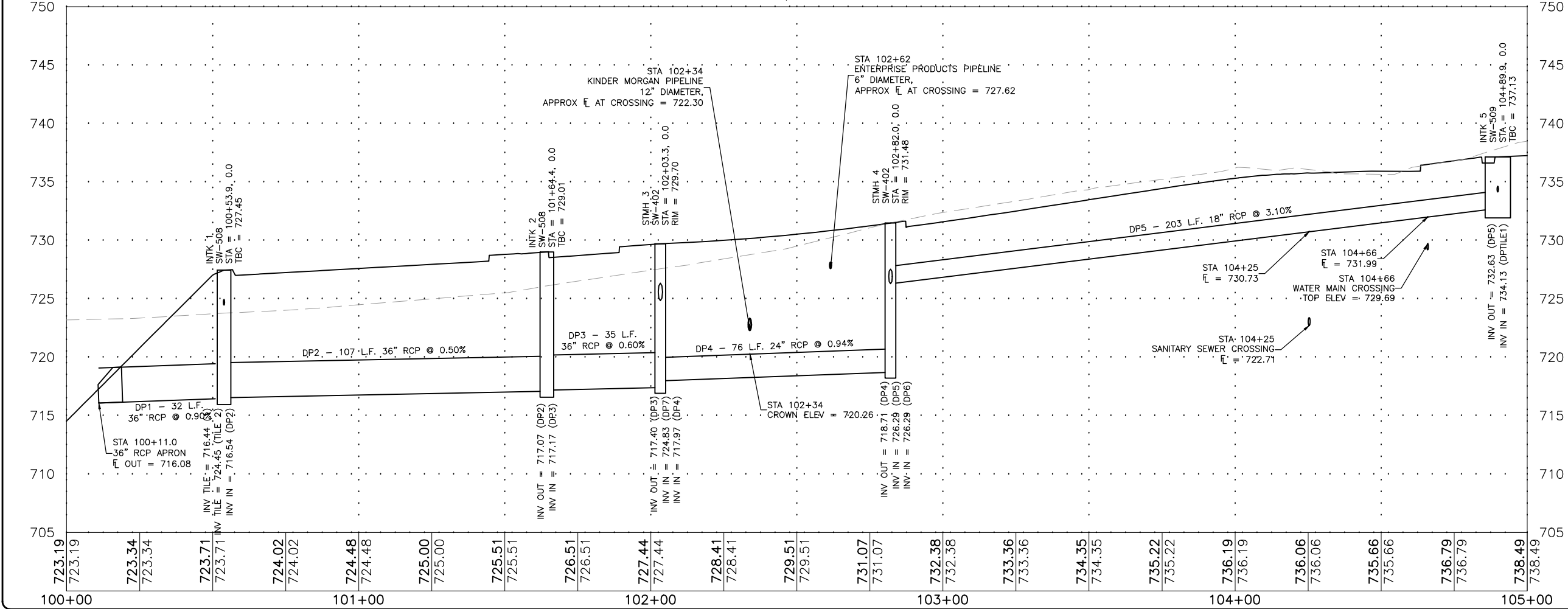
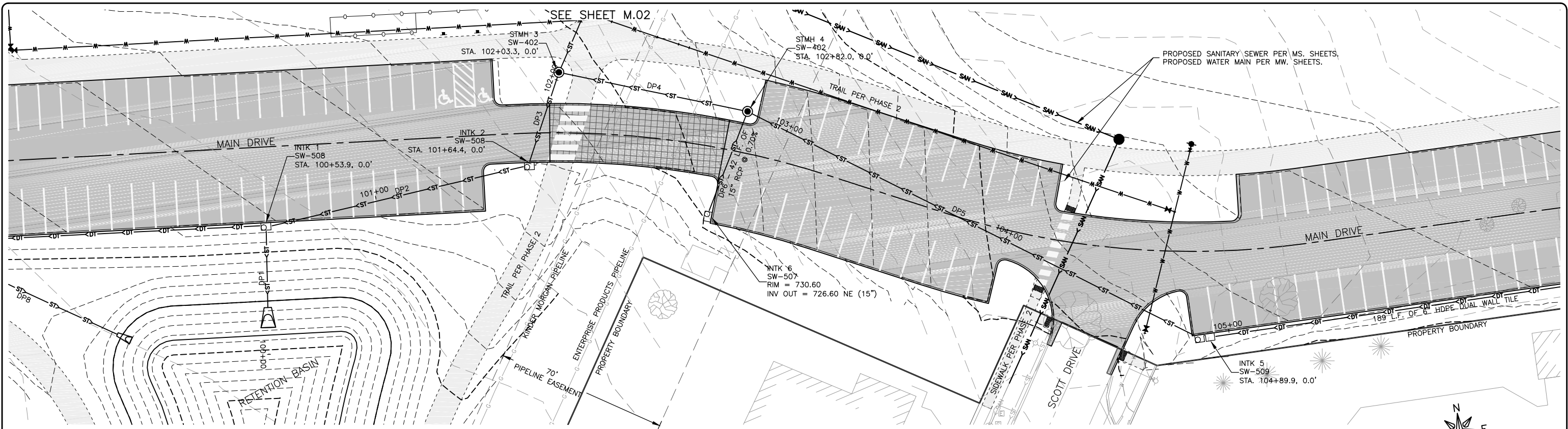
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STORM SEWER PLAN & PROFILE

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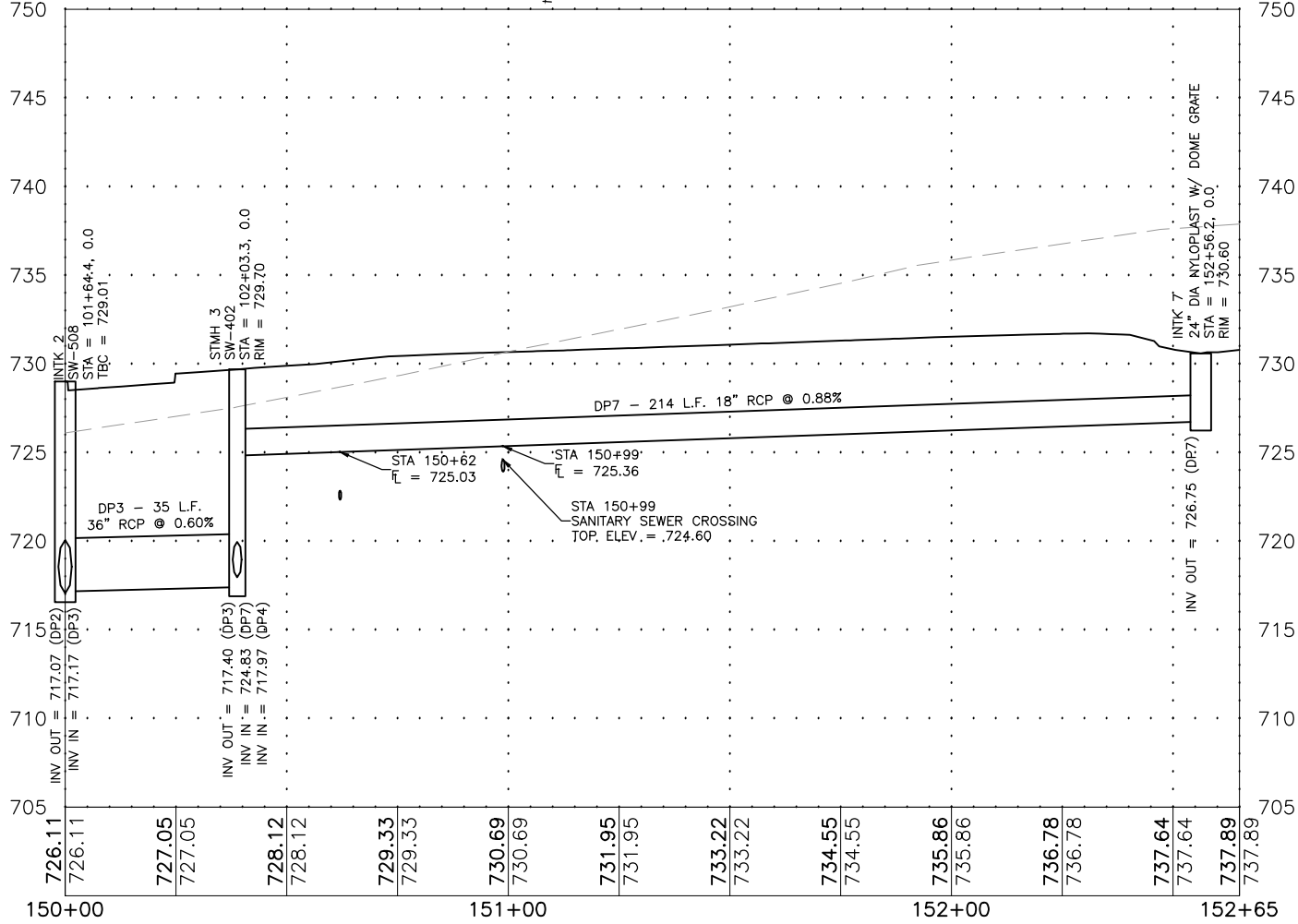
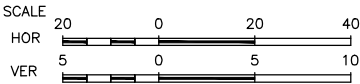
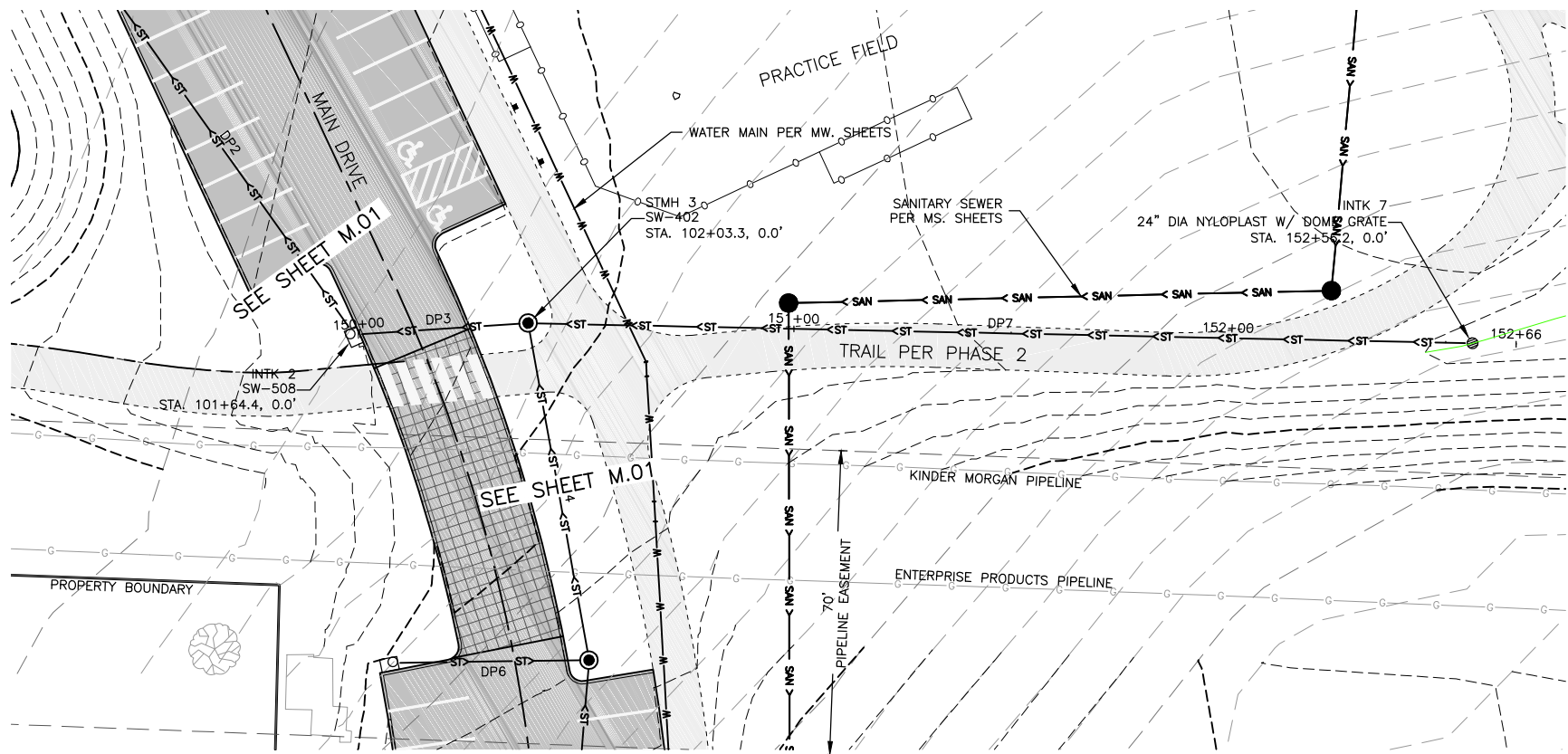
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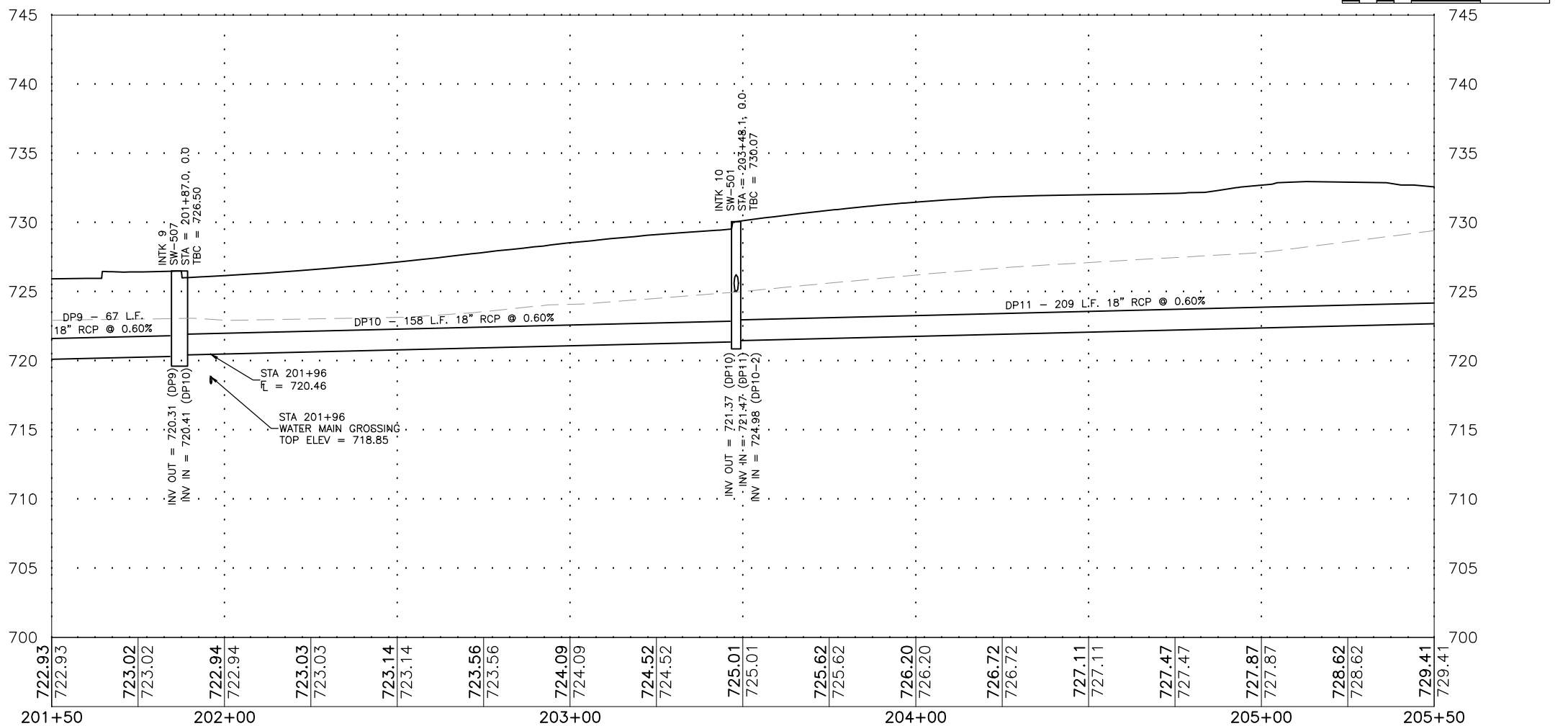
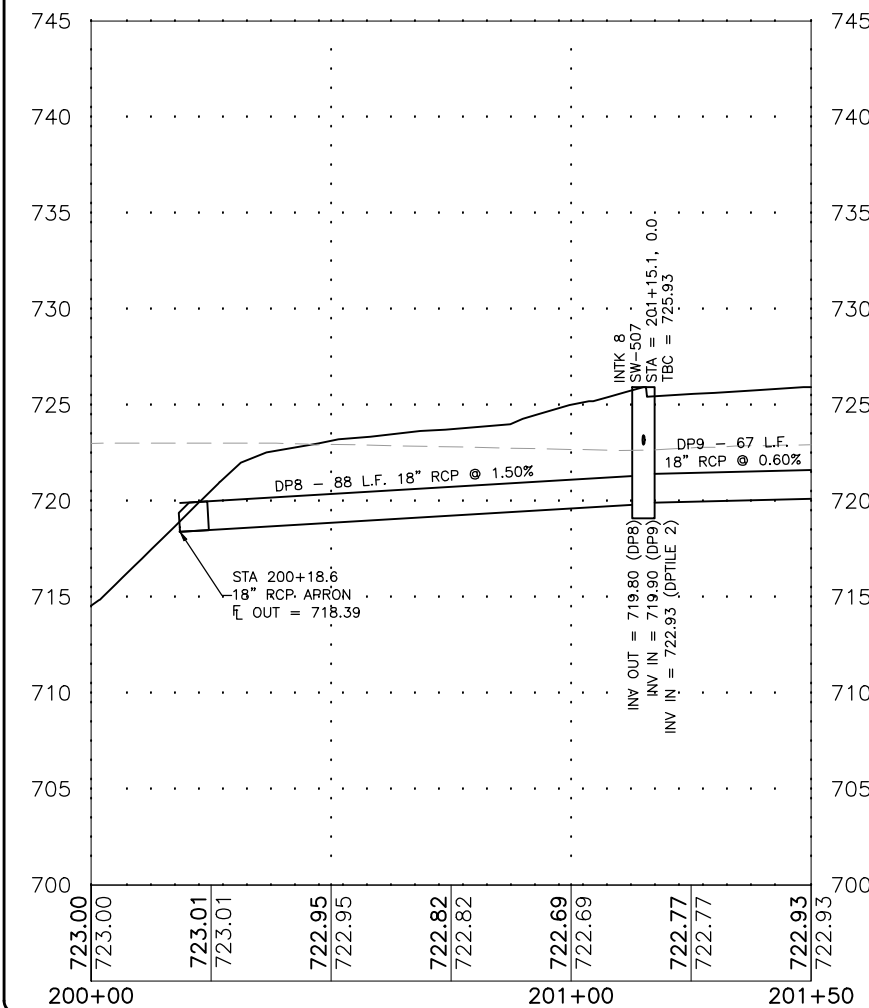
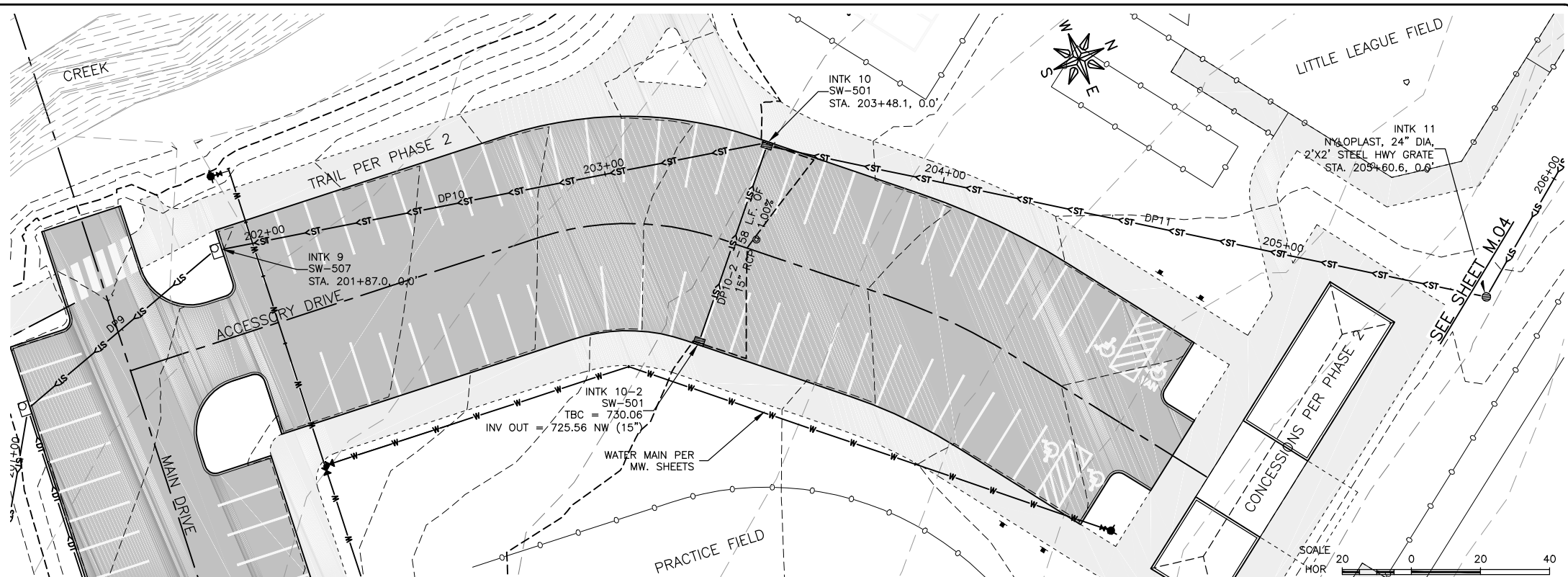
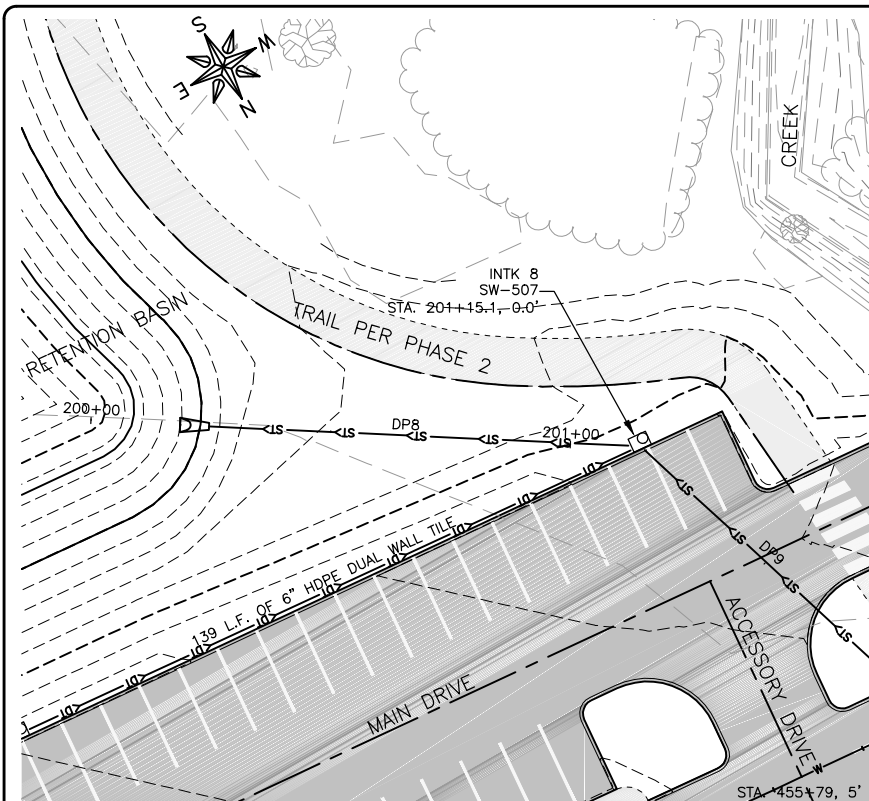
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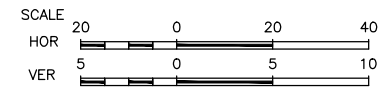
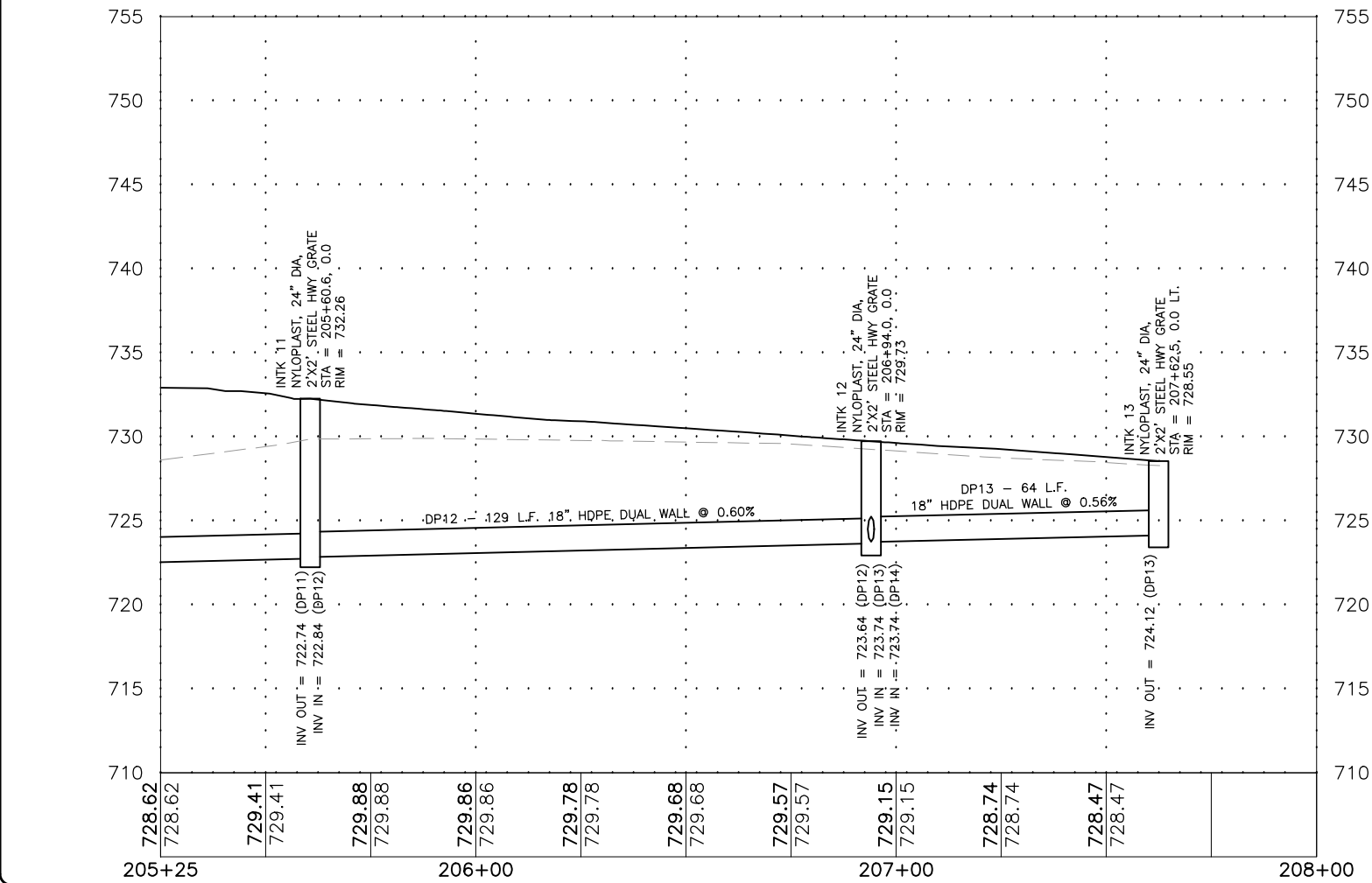
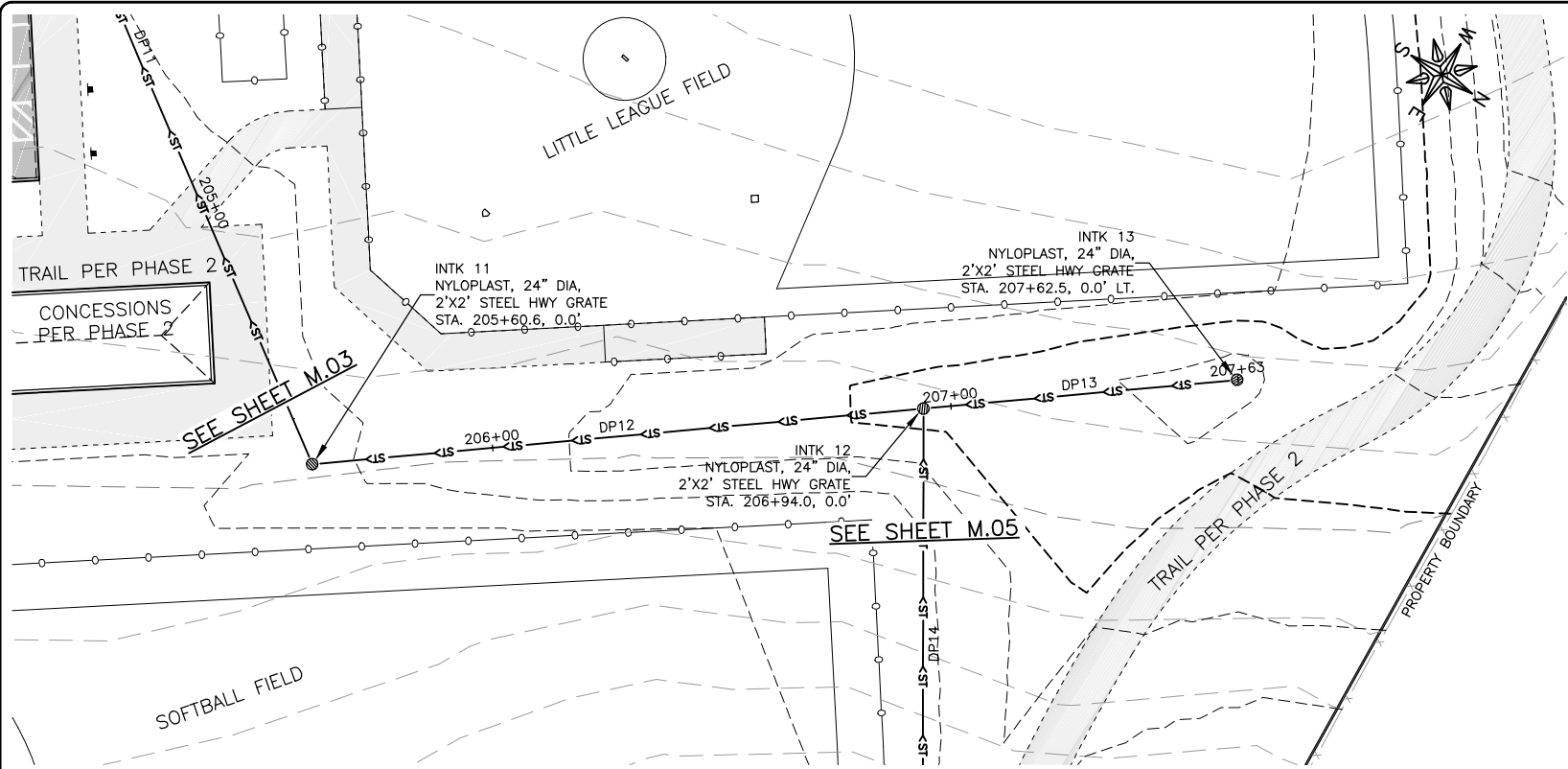
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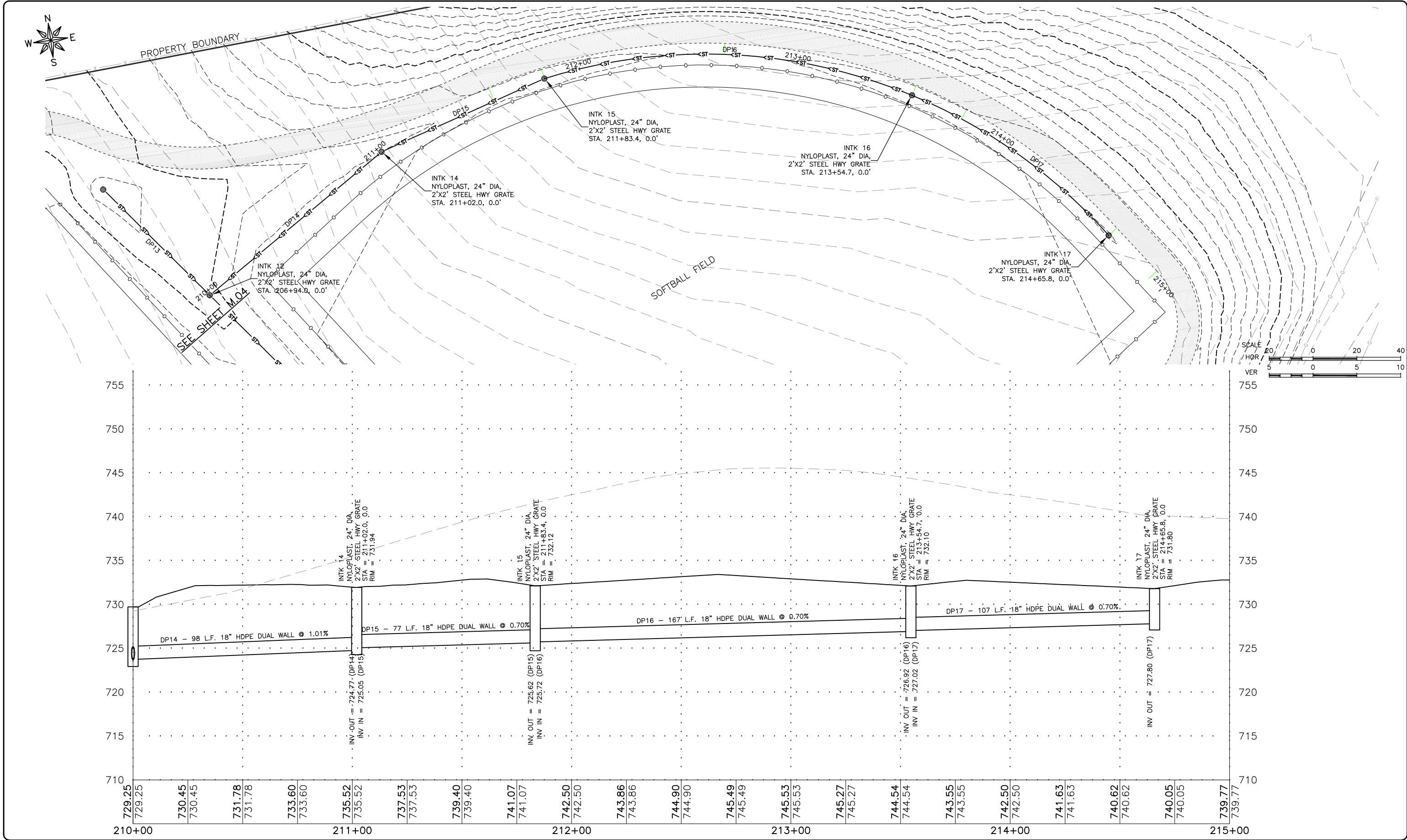
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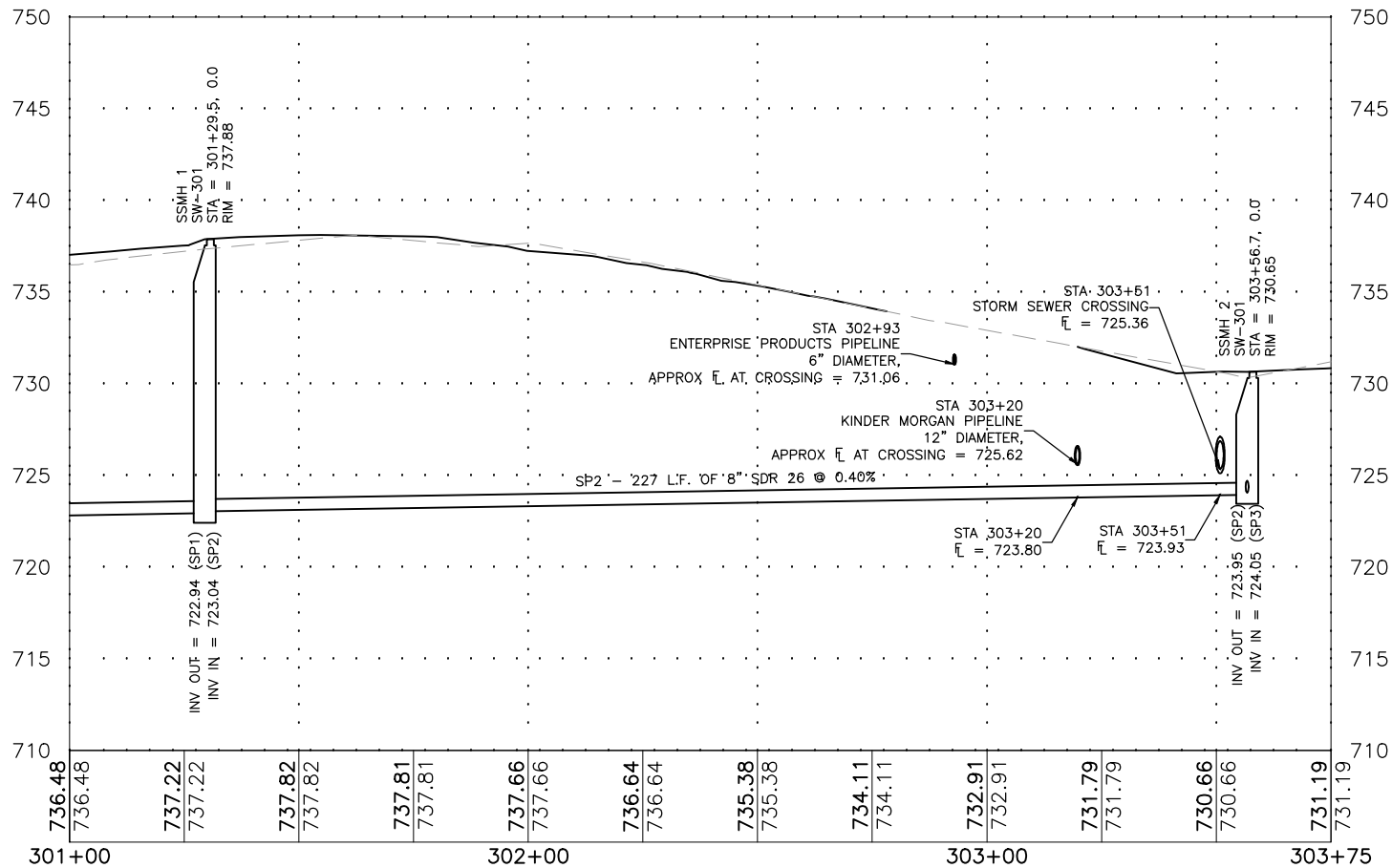
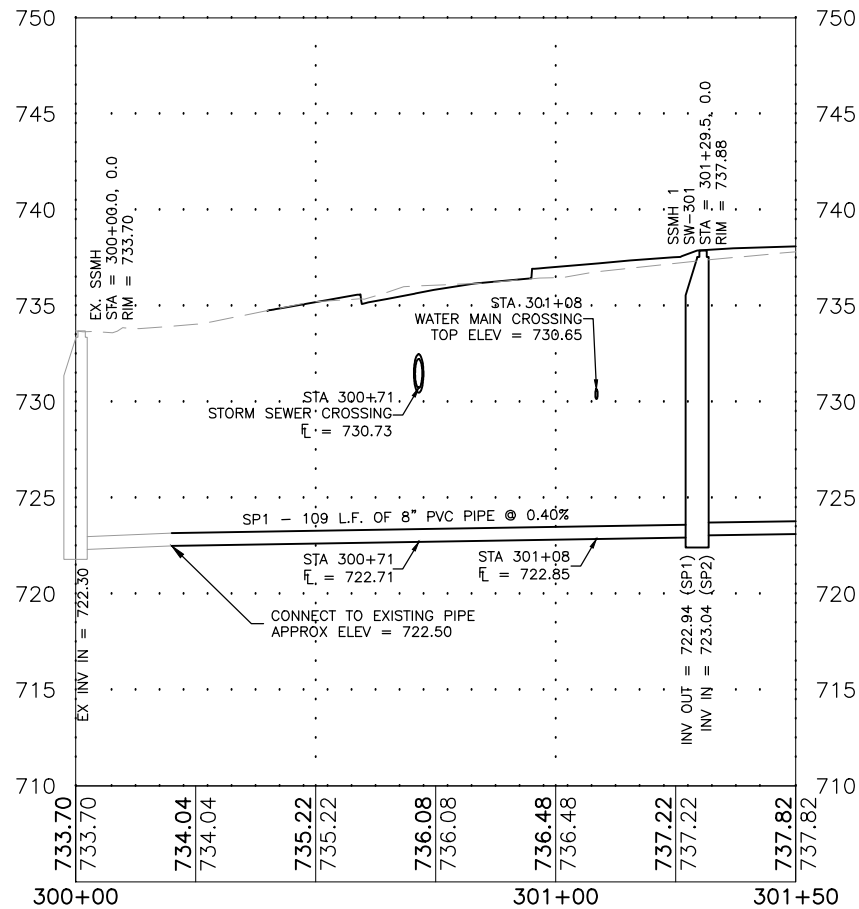
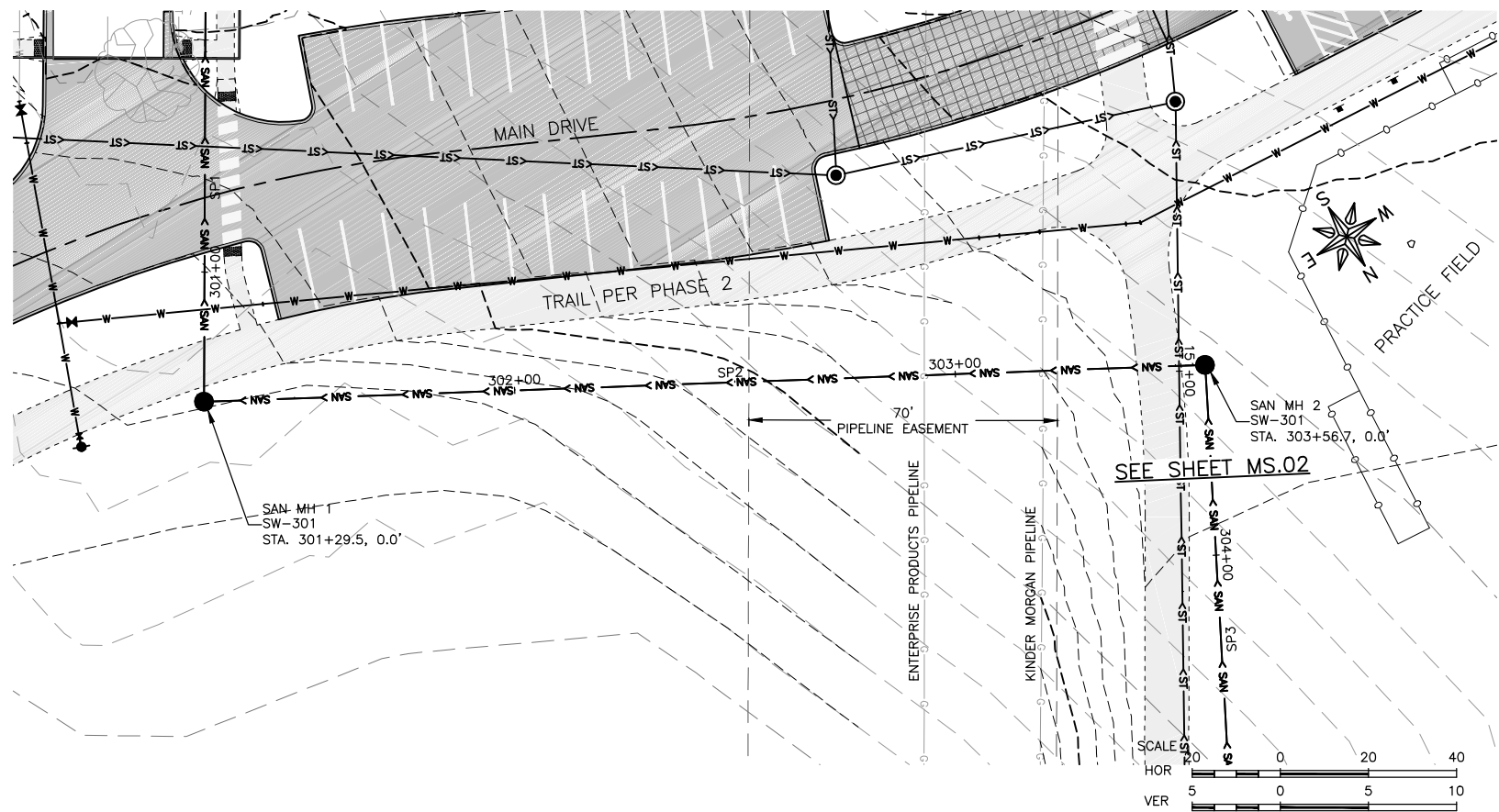
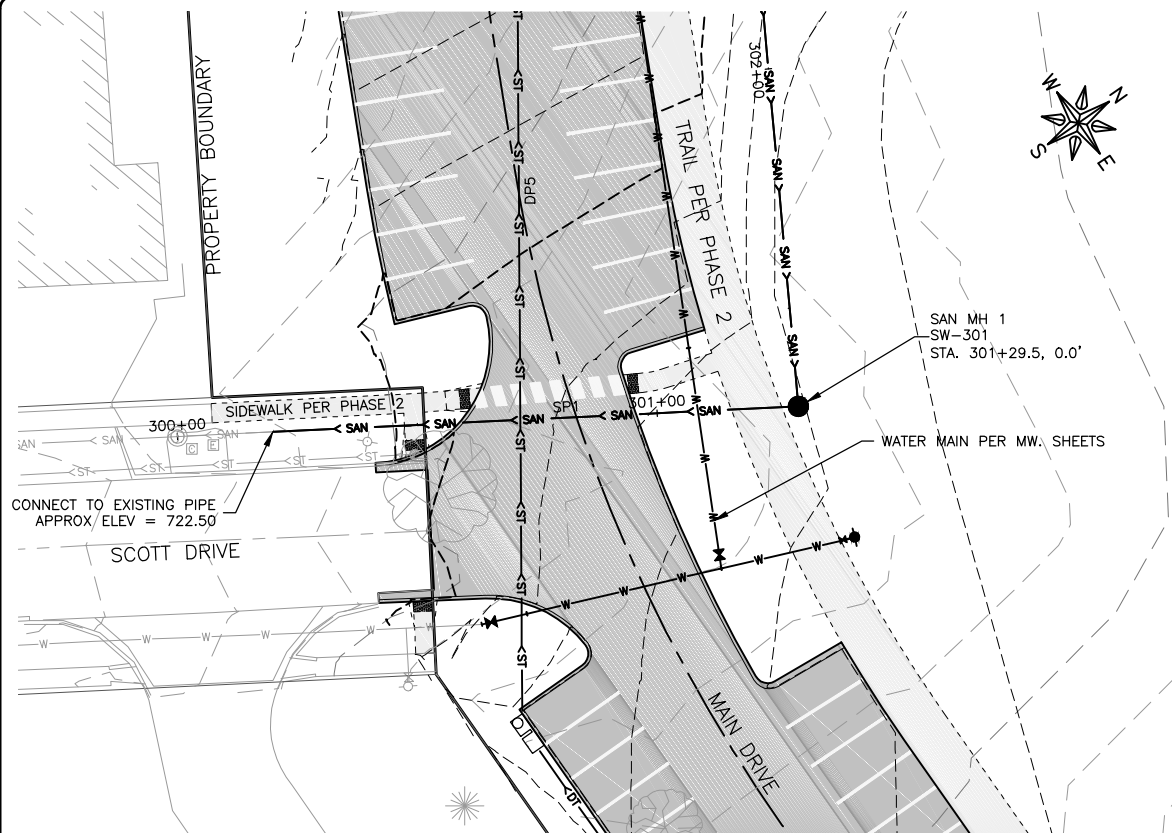
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DRAWING:

SANITARY SEWER PLAN & PROFILE

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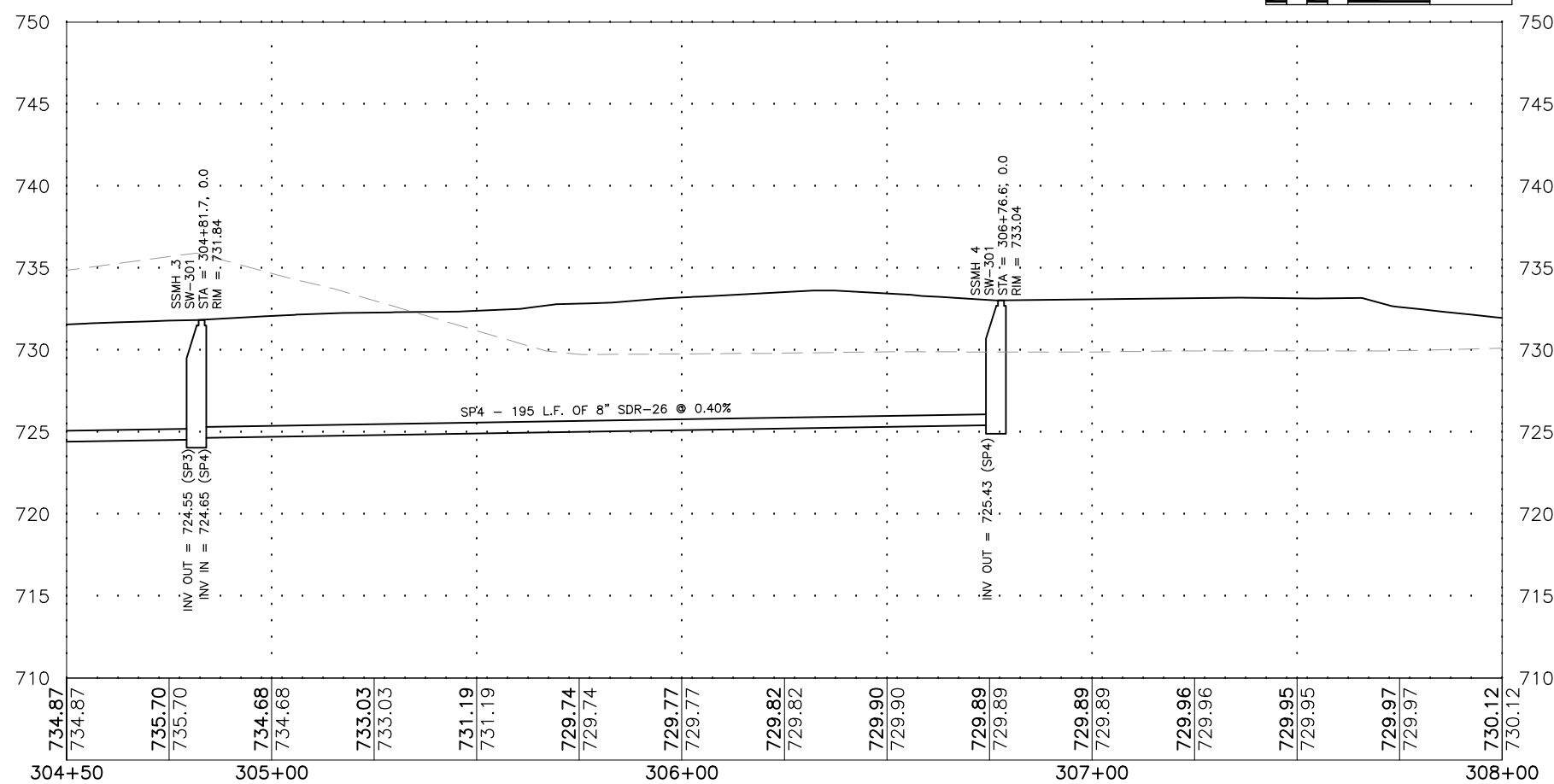
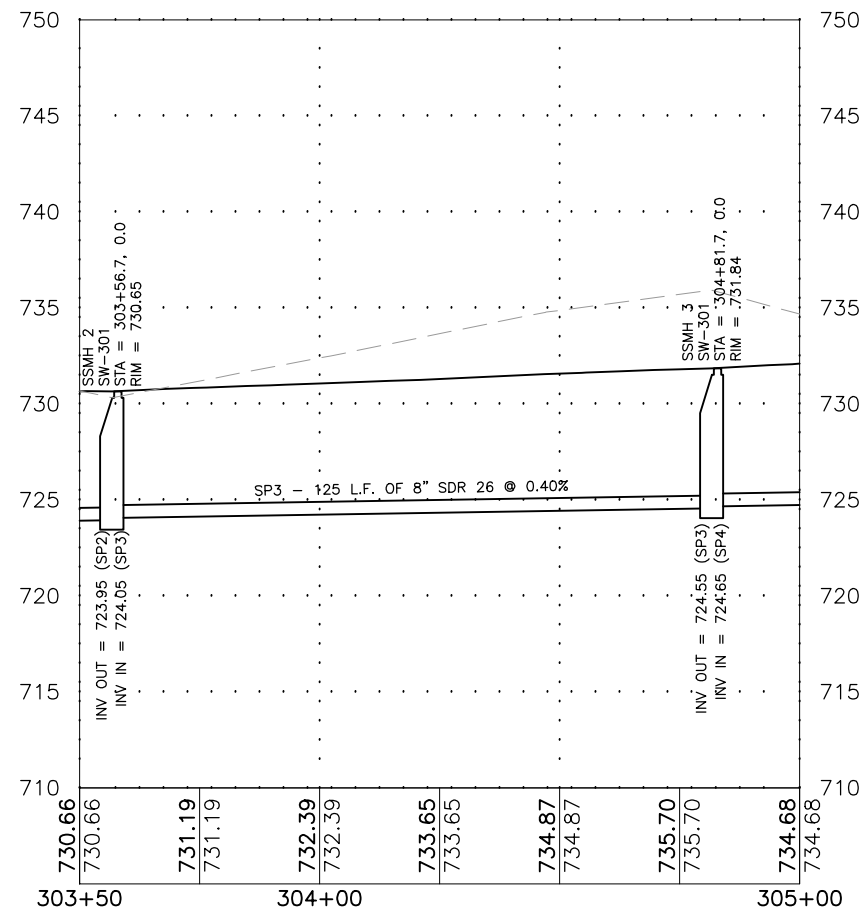
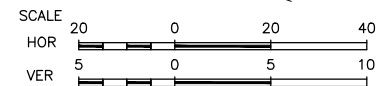
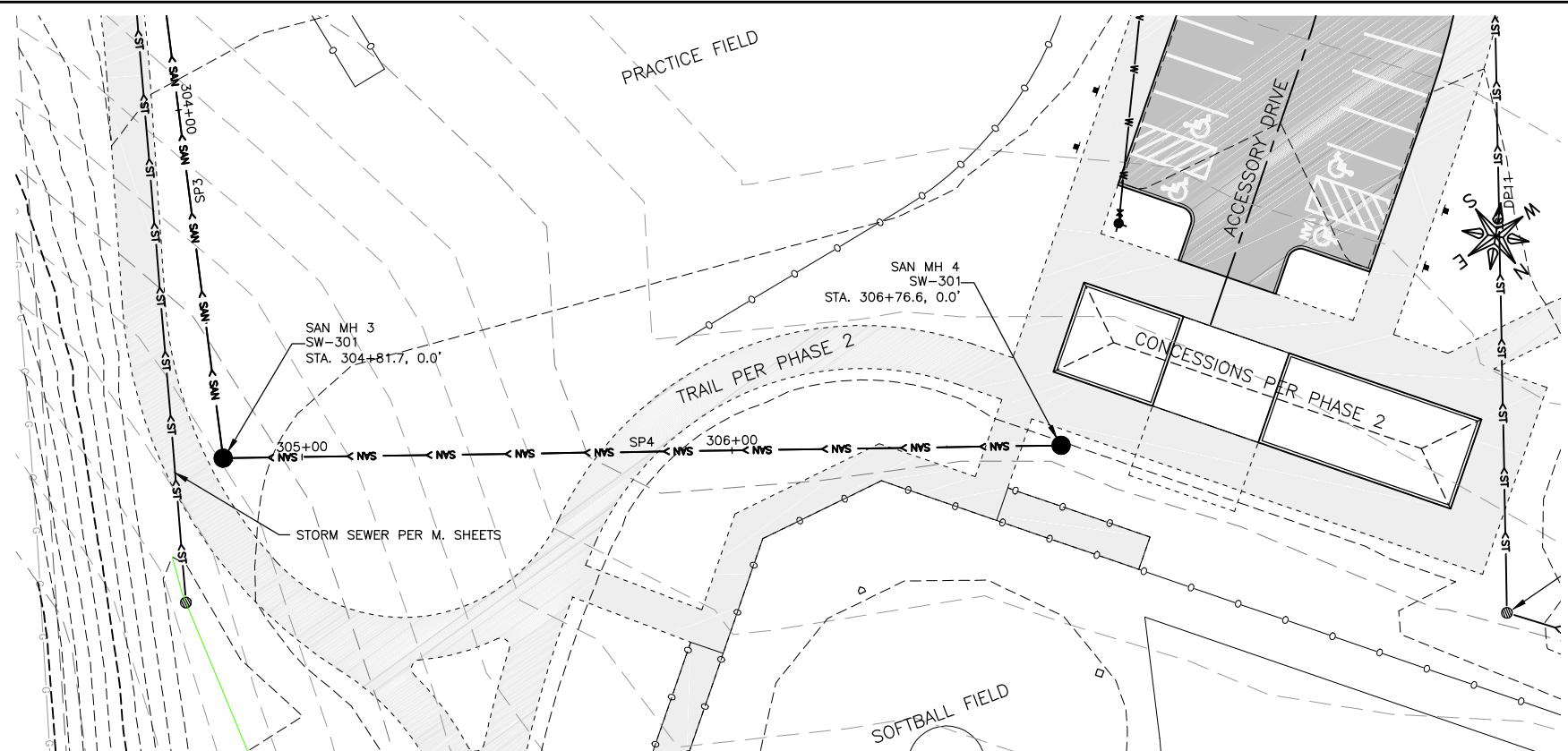
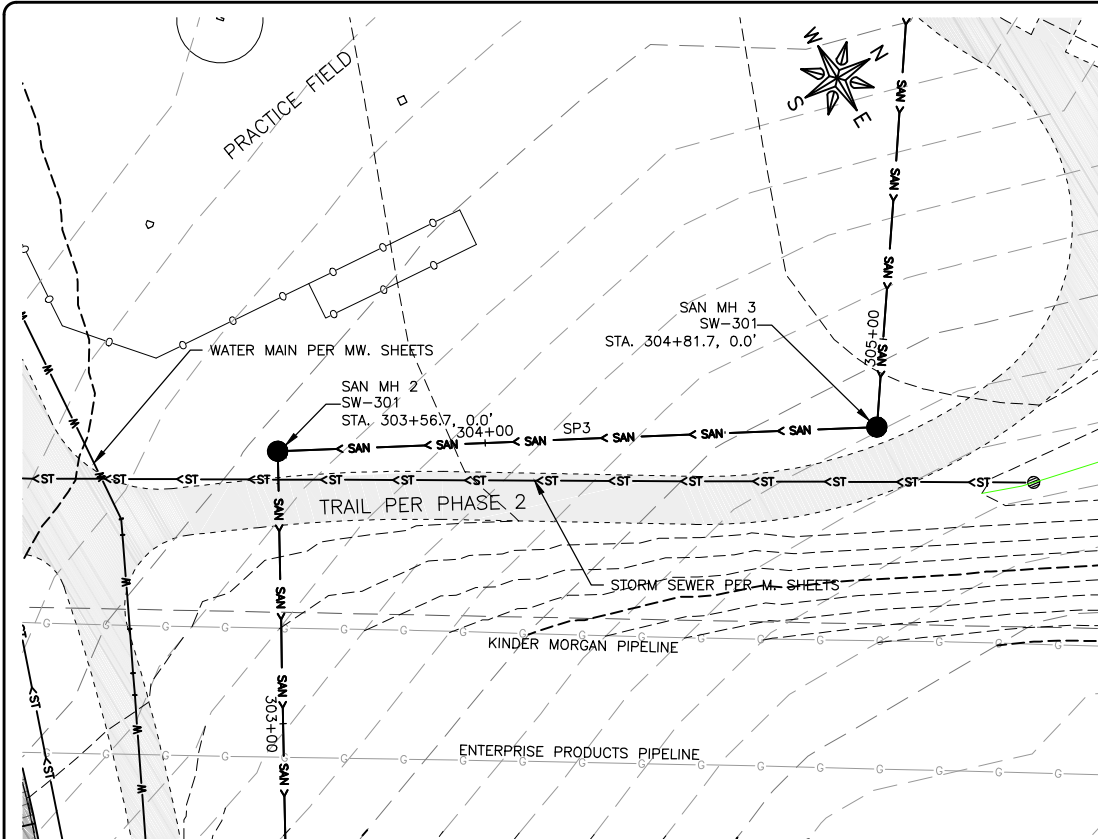
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SHEET NUMBER:

MS.01

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CITY OF WEST BRANCH
110 NORTH POPLAR STREET
WEST BRANCH, IOWA 52358

PROJECT AND LOCATION:
PEDERSEN VALLEY PARK
IMPROVEMENTS - PHASE 1
WEST BRANCH, IOWA

DRAWN BY: AJB
APPROVED BY: NPK
DATE: 3/17/2017
SCALE: AS NOTED

REVISIONS		
REV. NO.	DESCRIPTION	DATE

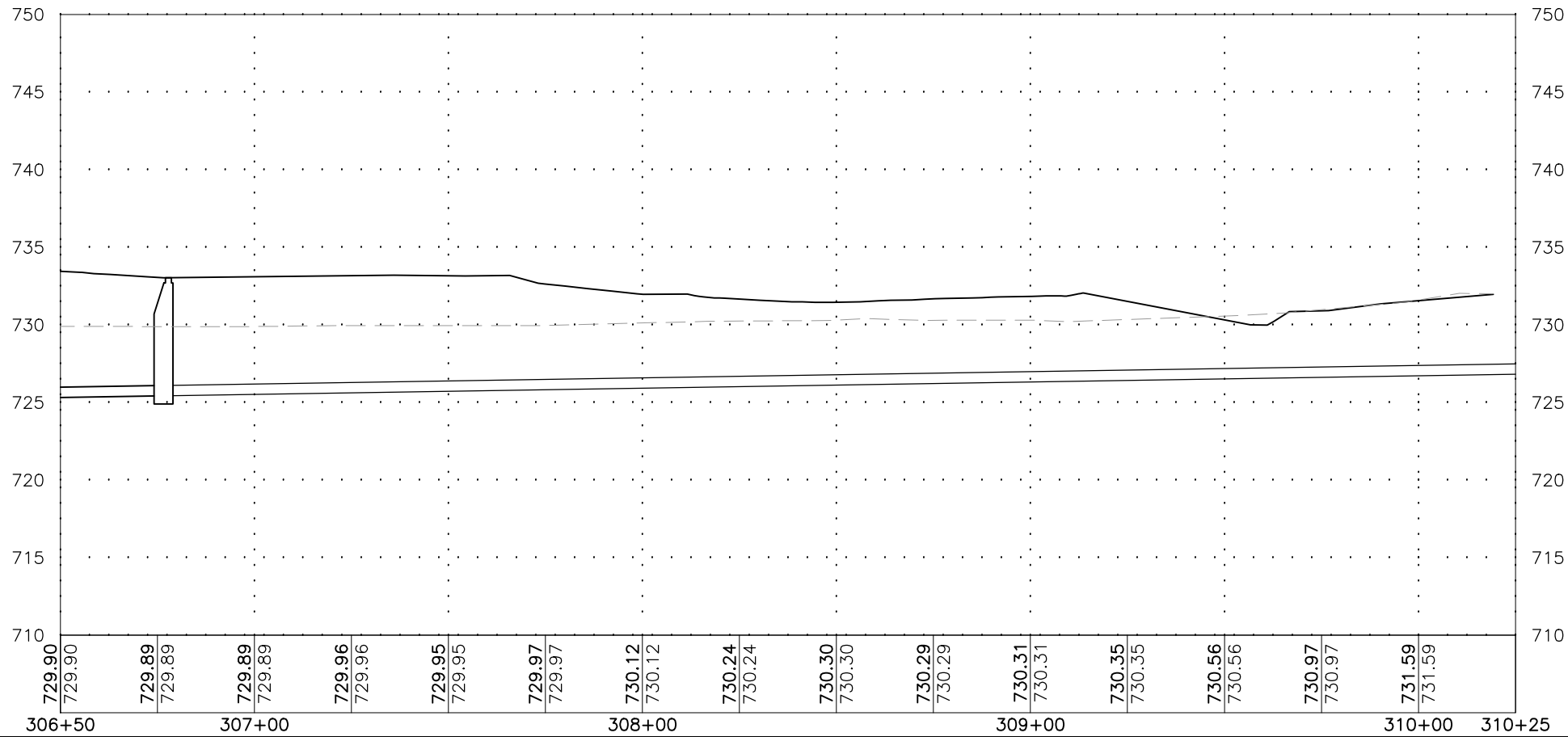
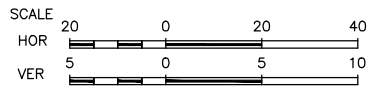
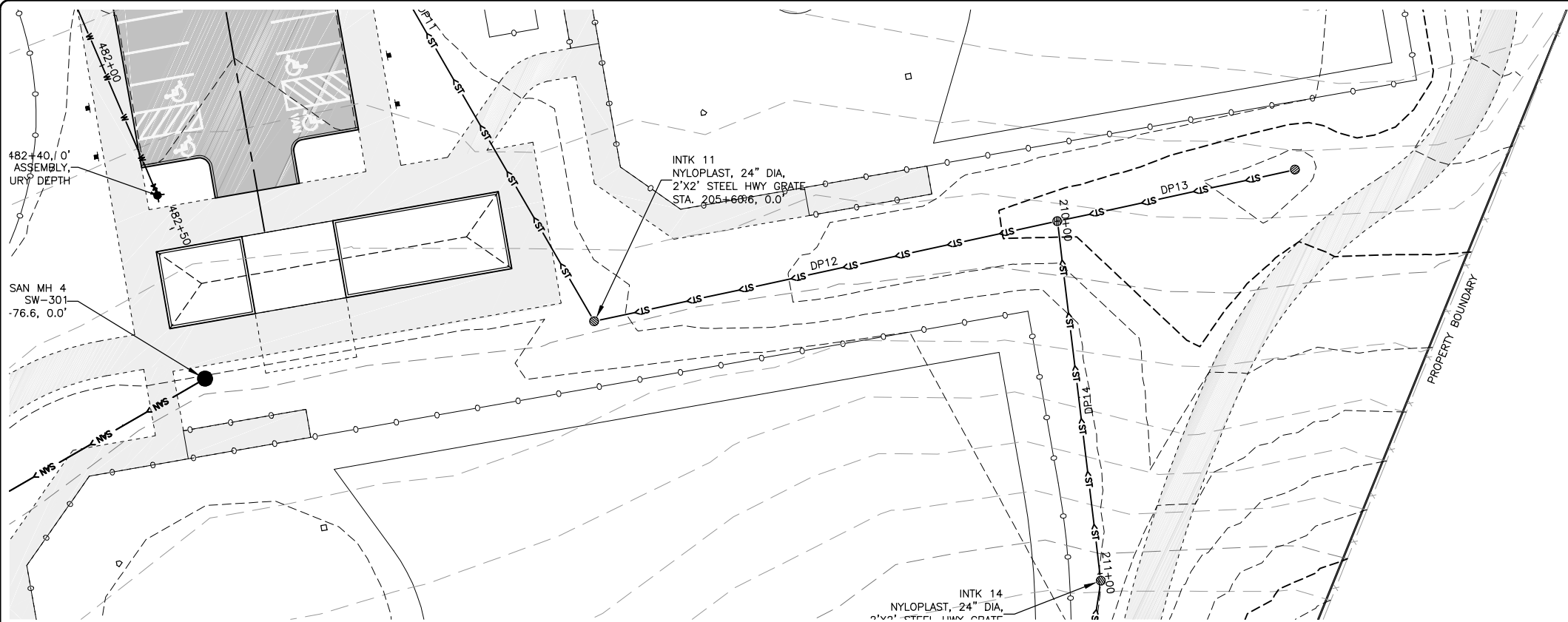
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PROJECT AND LOCATION:

PEDERSEN VALLEY PARK
IMPROVEMENTS - PHASE 1
WEST BRANCH, IOWA

DRAWN BY: **AJB**
APPROVED BY: **NPK**
DATE: **3/17/2017**
SCALE: **AS NOTED**

REVISIONS

REV. NO.	DESCRIPTION	DATE

DRAWING:

SANITARY SEWER REFERENCE SHEET
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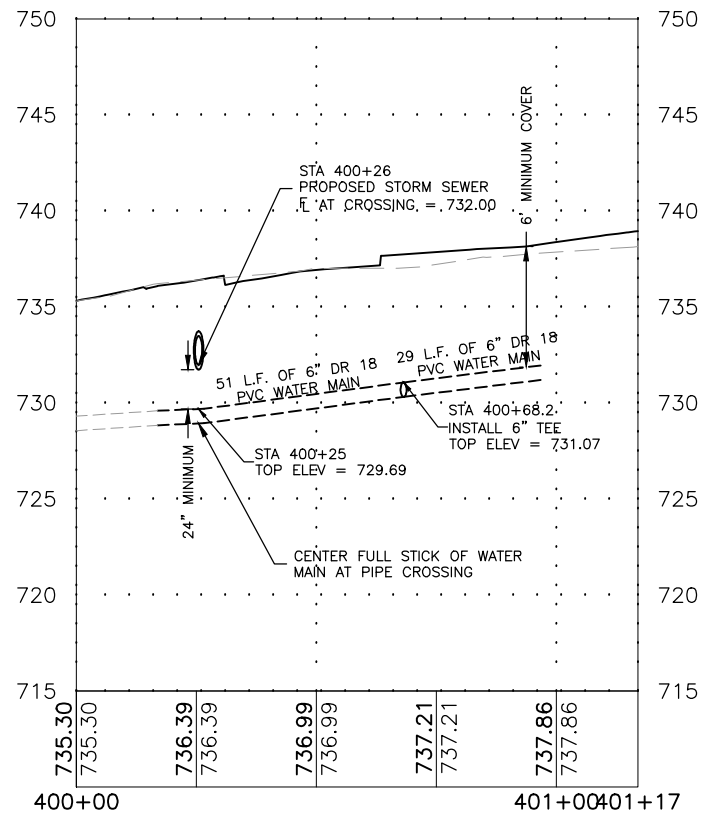
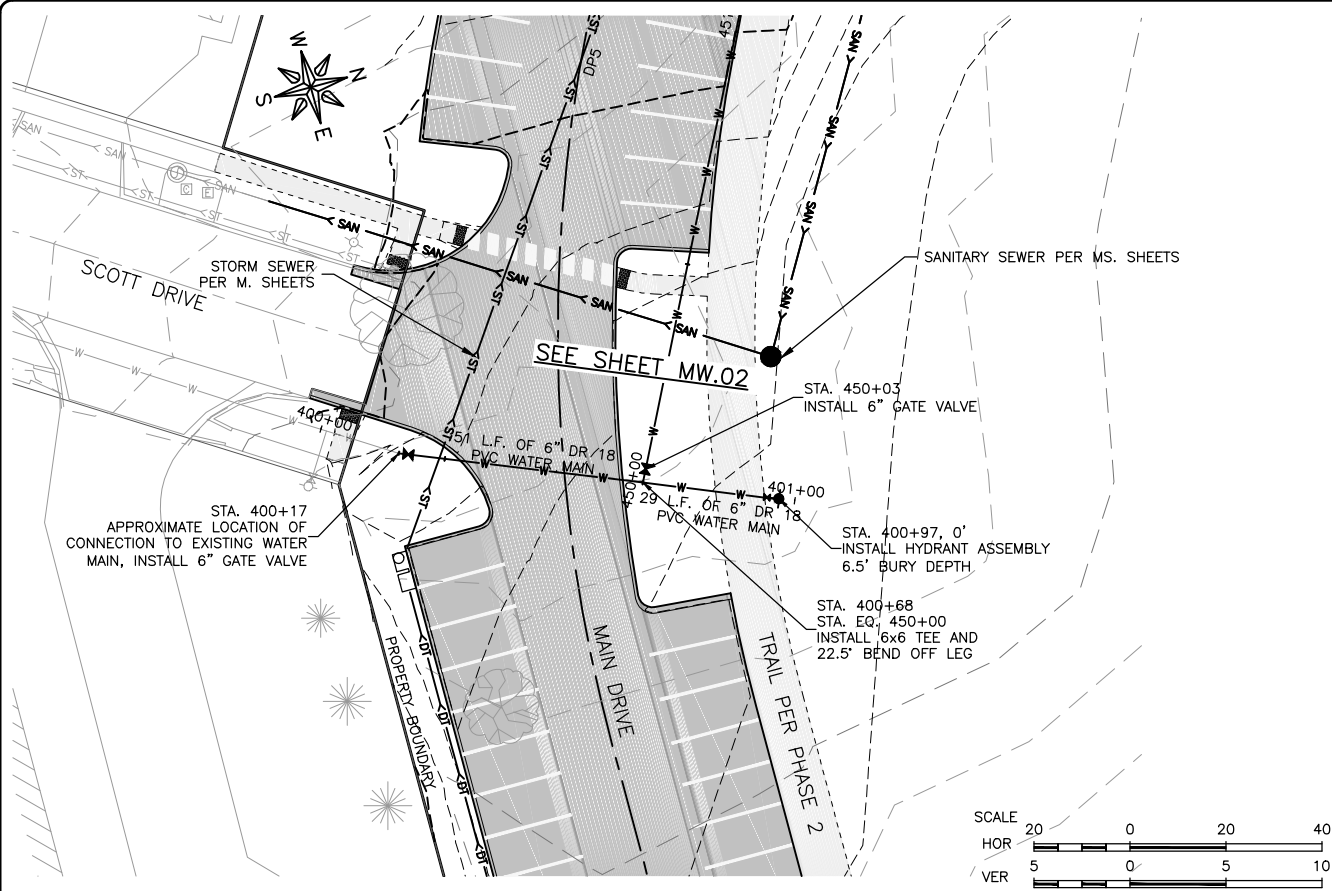
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110 NORTH POPLAR STREET
WEST BRANCH, IOWA 52358

PROJECT AND LOCATION:

PEDERSEN VALLEY PARK
IMPROVEMENTS - PHASE 1
WEST BRANCH, IOWA

DRAWN BY: AJB

APPROVED BY: NPK

DATE: 3/17/2017

SCALE: AS NOTED

REVISIONS

REV. NO.	DESCRIPTION	DATE

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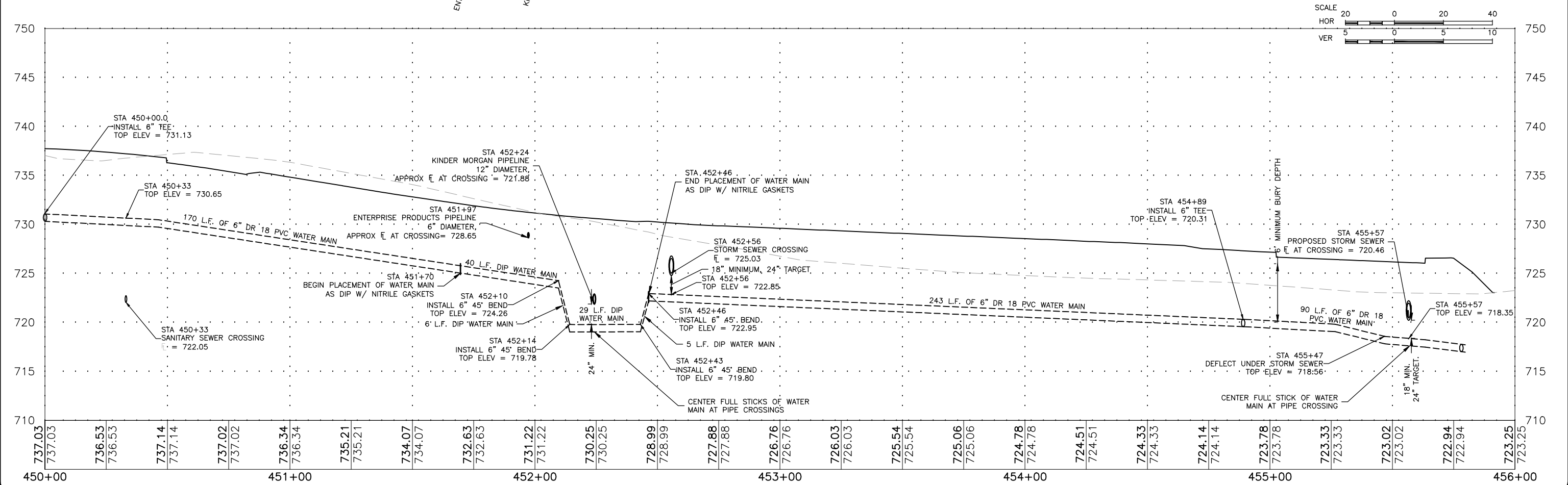
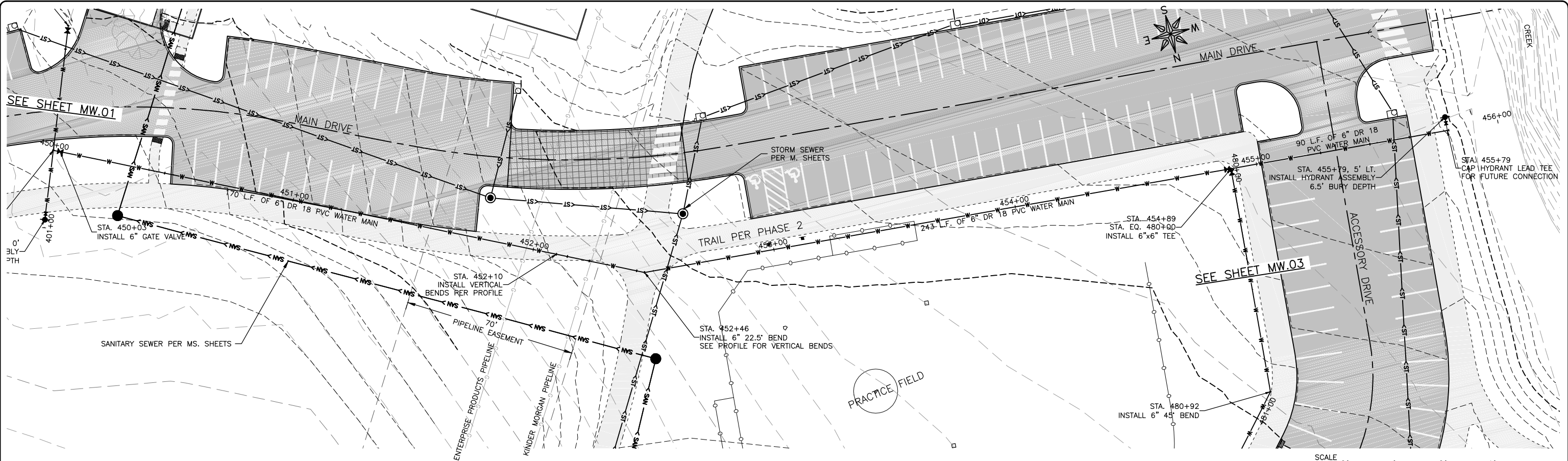
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PROJECT AND LOCATION:

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IMPROVEMENTS - PHASE 1
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DRAWN BY: AJB
APPROVED BY: NPK
DATE: 3/17/2017
SCALE: AS NOTED

REVISIONS

REV. NO.	DESCRIPTION	DATE

DRAWING:

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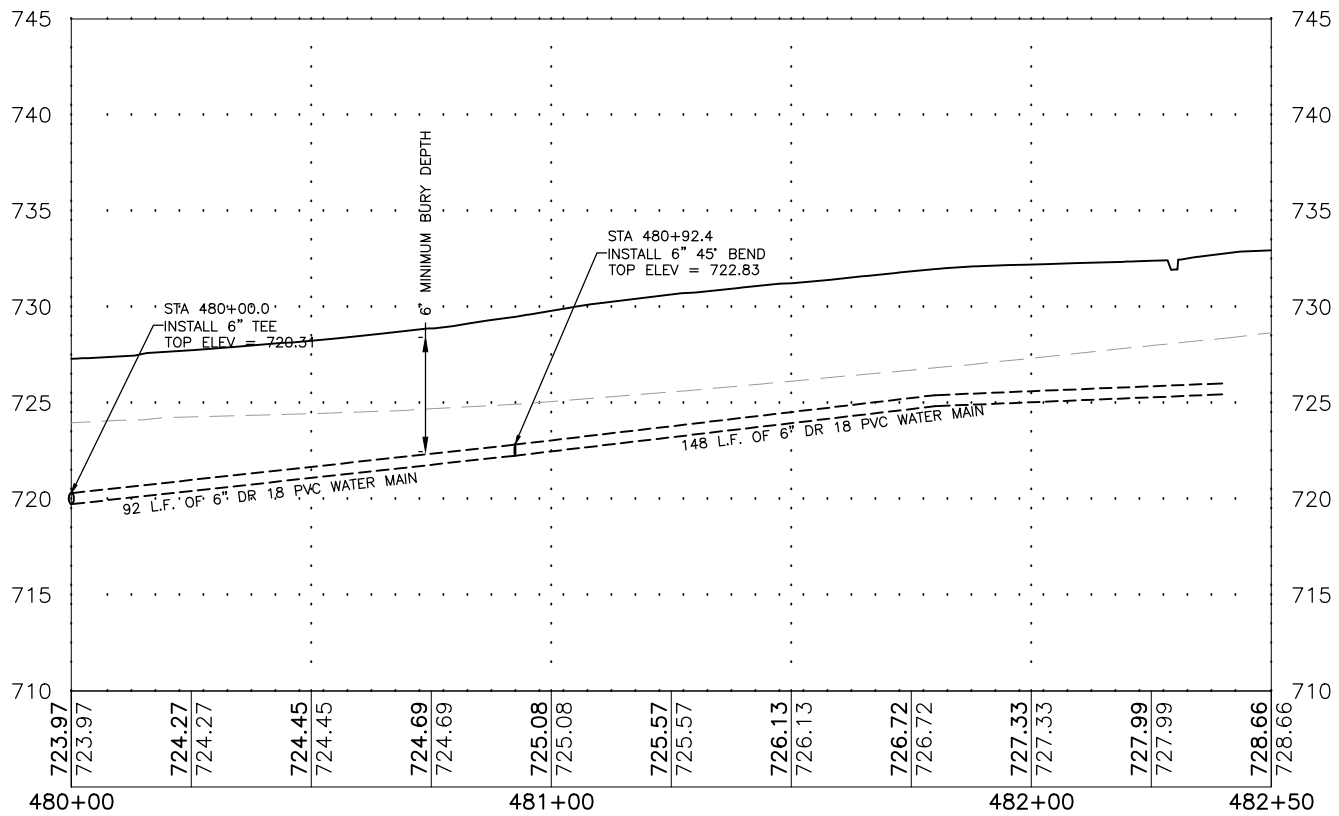
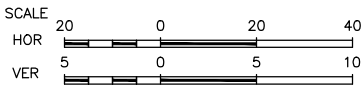
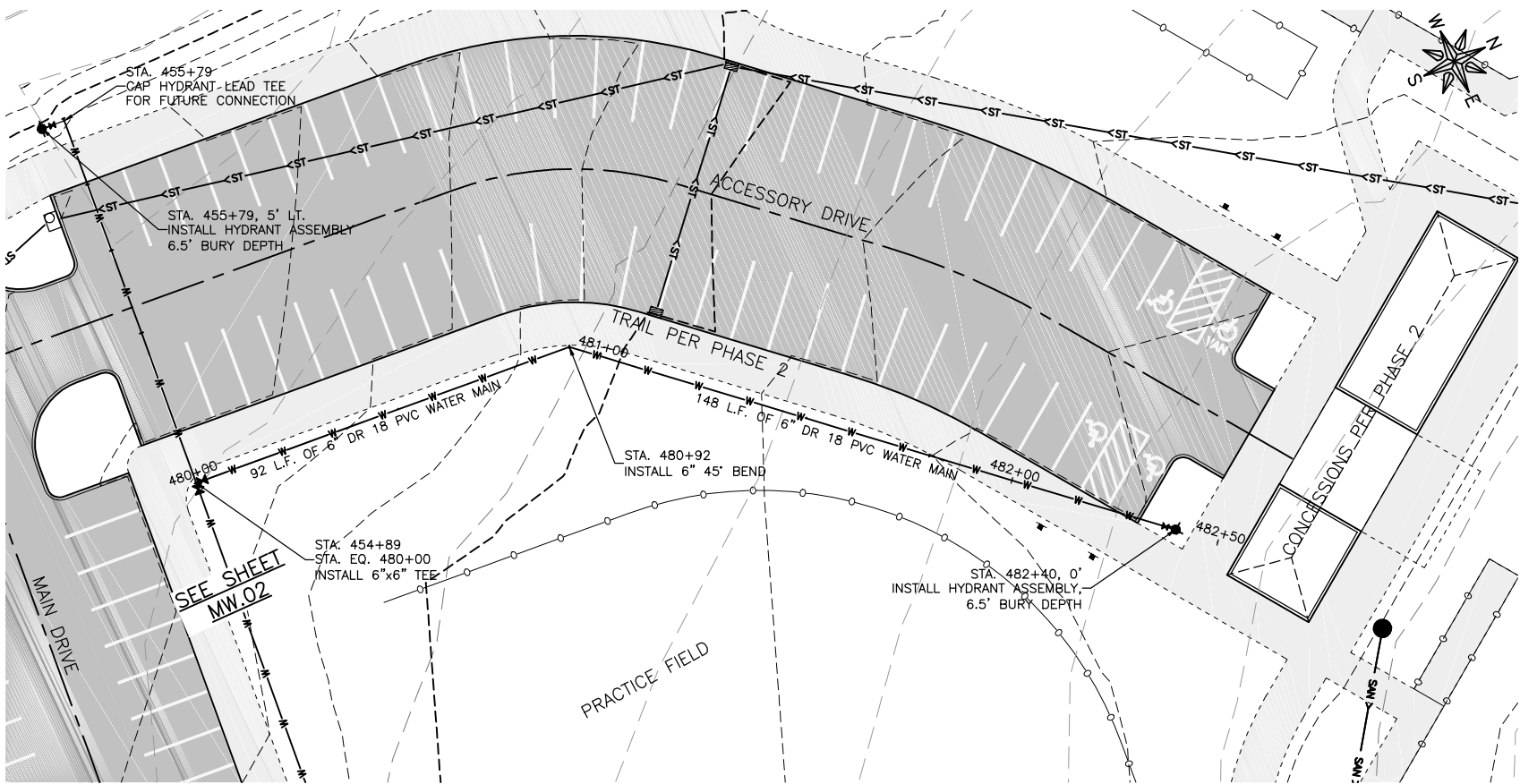
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110 NORTH POPLAR STREET
WEST BRANCH, IOWA 52358

PROJECT AND LOCATION:
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IMPROVEMENTS - PHASE 1
WEST BRANCH, IOWA

DRAWN BY: AJB
APPROVED BY: NPK
DATE: 3/17/2017
SCALE: AS NOTED

REVISIONS		
REV. NO.	DESCRIPTION	DATE

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